

**DATE:** September 12, 2018

**SUBJECT:**

<u>Certificate of Appropriateness Request:</u>	H-26-18
<u>Applicant:</u>	St. James Lutheran Church
<u>Location of subject property:</u>	104 Union St S
<u>Staff Report prepared by:</u>	Scott Sherrill, Sr. Planner

**BACKGROUND:**

- The subject property is site of a “Pivotal” structure and is located in the South Union Street Historic District. (Exhibit A)
- Date of construction: 1927-1928
- Gothic-revival church constructed of smooth-surfaced, random-coursed granite. Union St. façade has imposing, vertical emphasis and is composed of a central, parapeted gable; a tall, two-stage bell tower; and a short, parapeted tower set at a right angle to the nave. A four-light, lancet-arched window with intersecting tracery is the central feature of the façade.
- Applicant is proposing to add a columbarium and associated landscaping.

**DISCUSSION:**

The Lutheran Church is requesting to add a columbarium with three alcoves of 8.27 ft. width at the neck and an 11 ft. width at the widest point with niche walls of between 3 feet and 4 feet in width and heights between three feet and five feet. There will be two granite benches on each alcove. The project will result in the realignment of the parking lot on the southeast side of the structure.

The applicant has submitted a landscaping plan that details the plantings and landscaping to accompany the columbarium.

The applicant is also proposing to install a fence to match the existing fence at St. James Lutheran’s cemetery on Corban. The fence will be 6’ high, powder-coated black metal. The fence will secure access to a lower alley and run along the western side of the Lutheran Church parking lot.

**ATTACHMENTS**

- Exhibit A: National Register of Historic Places Inventory—Nomination Form
- Exhibit B: Application for Certificate of Appropriateness
- Exhibit C: Overall Site Plan
- Exhibit D: Construction Drawings
- Exhibit E: Landscaping Proposal
- Exhibit F: Proposed Fencing and Fencing Location

**HISTORIC HANDBOOK DESIGN RECOMMENDATIONS:**

**Chapter 5 – Section 8: Landscaping and Trees**

***Design Guidelines and Recommendations***

1. *Property owners should provide proper care and maintenance for the existing landscape and landscape patterns.*

2. *Trees which are removed shall be replaced by a species which, upon maturity, is similar in scale to the removed specimen. For example, canopy trees shall be replaced with canopy trees, and understory trees with understory trees.*
3. *Placement of all vegetation should not interfere with utilities and vehicular traffic (sight-triangles).*
4. *Residential uses should maintain the four characteristic placements for canopy: to soften building ground line, to separate public/private edge, to separate the boundary of the property, and to maintain property lines. It is also recommended that placement be varied and types of vegetation enhance the appearance of the existing property yet maintain and preserve its historical significance.*

#### **Chapter 5 – Section 10: Driveways, Walkways and Parking**

*When new driveways are constructed, they should be separated from existing driveways by a grass strip, and should be narrow, since double width driveways are out of scale with the relatively small lots in the districts. Gravel and pavement are acceptable materials for driveways, as are some alternative materials such as cobblestone, brick, and pervious pavers.*

*Gravel may be appropriate in some instances for established commercial driveways and parking areas. The Zoning Ordinance dictates that some parking areas be paved; however, if the Historic Preservation Commission finds that gravel parking is more appropriate to the historic nature of the property, it can recommend to the Planning and Zoning commission that a waiver of the paving requirement be granted.*

#### **Design Guidelines and Recommendations:**

1. *Parking areas should not be the focal point of the property, and should be located in such a manner as to minimize their visibility from the street.*
3. *Excessive expanses of paving should be avoided.*
4. *Use vegetation screen or berms to reduce reflection and visual confusion. Within residential areas, integrate parking areas into landscaping and surface with the appropriate materials such as concrete, brick, crushed stone or gravel. In general, asphalt should only be used for areas not visible from the street; its use will be considered on a case by case basis by the Historic Preservation Commission.*

#### **RECOMMENDATION:**

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and Guidelines and act accordingly.
2. If approved, applicant(s) should be informed of the following:
  - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
  - Completed project will be photographed to update the historic properties survey.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Inventory—Nomination Form**

For NPS use only  
received  
date entered

Continuation sheet	Item number	Page
<u>Inventory List - South Union Street Historic District, Concord</u>	#7	25

50. T. D. Manus  
142 S. Union St.  
1921-1927 (SM)  
P

One of the finest two-story houses built "along bungalow lines" that survives in Cabarrus County, this brick residence has a restrained, sophisticated design with a slight Tudor flavor. House has hip-roofed main block with projecting, two-story gables on front and north elevations. These gables and the gables of the entrance and sun porches all have half-timbering, distinctive porte-cochere with flared parapet and broad, arched opening trimmed with radiating brickwork. Interior predominantly Colonial Revival in character.

Teller David Manus was a Concord attorney who played an important role in the construction of the present sanctuary of First Baptist Church, a pivotal structure in the North Union Street Historic District.

51. Parking Lot  
between 100 S. Union St. and Foard Ave.  
PL

Landscaped parking lot of St. James Lutheran Church, which stands just north. To west of lot is church's mid-twentieth century education wing, a two-story, blond brick structure with casement windows.

52. St. James Lutheran Church  
100 S. Union St.  
1921-28  
P

Splendid Gothic Revival sanctuary, the finest church of its period in Cabarrus County. Church is constructed of smooth-surfaced, random-coursed granite, with a lighter-colored stone used to trim the windows, doors, and buttresses. Union St. facade has imposing, vertical emphasis and is composed of a central, parapeted gable; a tall, two-stage bell tower; and a shorter, parapeted tower set at a right angle to the nave. A four-light, lancet-arched window with intersecting tracery is the central feature of the facade, and directly beneath it is the well-detailed entrance. The rich interior detailing of the church reflects the fine execution of its exterior finish.

St. James is the oldest Lutheran congregation in Concord and remains

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<u>Inventory List - South Union Street</u> <u>Historic District, Concord</u>	#7	26

its principal Lutheran Church. It was organized in 1843 by members from the Lutheran congregation of Cold Water Union Church which dates back to the late eighteenth century. The Cold Water Lutheran pastor, W. G. Harter, apparently transferred his services to the new group.

A lot was purchased in 1845 and a frame church erected, a square building with separate doors for the men and women. A log cabin for education was also constructed. The church received a bell for its tower and an organ in 1874. The congregation hosted the General Synod of the Lutheran Church in the Confederate States of America in 1863.

In 1880, a lot was purchased on the site of the present building for a structure to hold the growing congregation. A brick church was constructed and dedicated in 1881. The present stone building was constructed in 1927-1928.

53. Office  
153 S. Union St.  
early twentieth century, remodeled 1960s  
I

Heavily altered, two-story frame house converted to office use. Porch removed and replaced with unsympathetic one-story wing of brick construction. House sheathed in aluminum siding.

54. Vacant Lot  
between 153 and 157 S. Union St.  
VL

Steeply sloping vacant lot.

55. Ralph E. Cline House  
157 S. Union St.  
1914 (AWB)

E

Handsome two-story frame residence employing materials and details typical of the bungalow style. House designed by Charlotte architect Louis H. Asbury, who prepared plans for four other buildings in the district (see inv. #s 38, 42, 66, and 96). House is sheathed in square cut shingles, and mortared stone is used for foundation, chimneys, and porch piers. Typical bungalow style details include broad eaves and low-slung, full-facade porch. Distinctive hip-roofed bay on north elevation has three-light window with diagonally latticed sash.

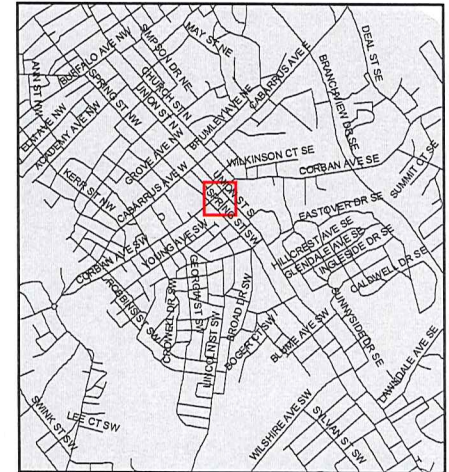


H-26-18

St. James Lutheran Church

104 Union St S

PIN: 5620-97-3177, 5200,  
2182, 2092 & -96-3958



Source: City of Concord  
Planning Department

**Disclaimer**

These maps and products are designed for general reference only and data contained herein is subject to change. The City of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

**AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.**

**APPLICANT INFORMATION**

Name: St. James Lutheran Church  
Address: 104 Union Street South  
City: Concord State: NC Zip Code: 28025 Telephone: 704-786-0166

**OWNER INFORMATION**

Name: St. James Lutheran Church  
Address: 104 Union Street South  
City: Concord State: NC Zip Code: 28025 Telephone: 704-786-0166

**SUBJECT PROPERTY**

Street Address: 104 Union Street South P.I.N. # 5620-97-5200  
Area (acres or square feet): .28 Current Zoning: CC Land Use: Church

**Staff Use Only:**  
Application Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_  
Fee: \$20.00 Received by: \_\_\_\_\_ Date: \_\_\_\_\_, 20 \_\_\_\_\_  
*The application fee is nonrefundable.*

**Exhibit B**

**General Requirements**

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Construction of 117 niche columbarium
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):  
Construction of columbarium. Siding is granite (samples enclosed)  
Color is Dakota Rose and Virginia Mist granite

**Required Attachments/Submittals**

1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a "before" perspective
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

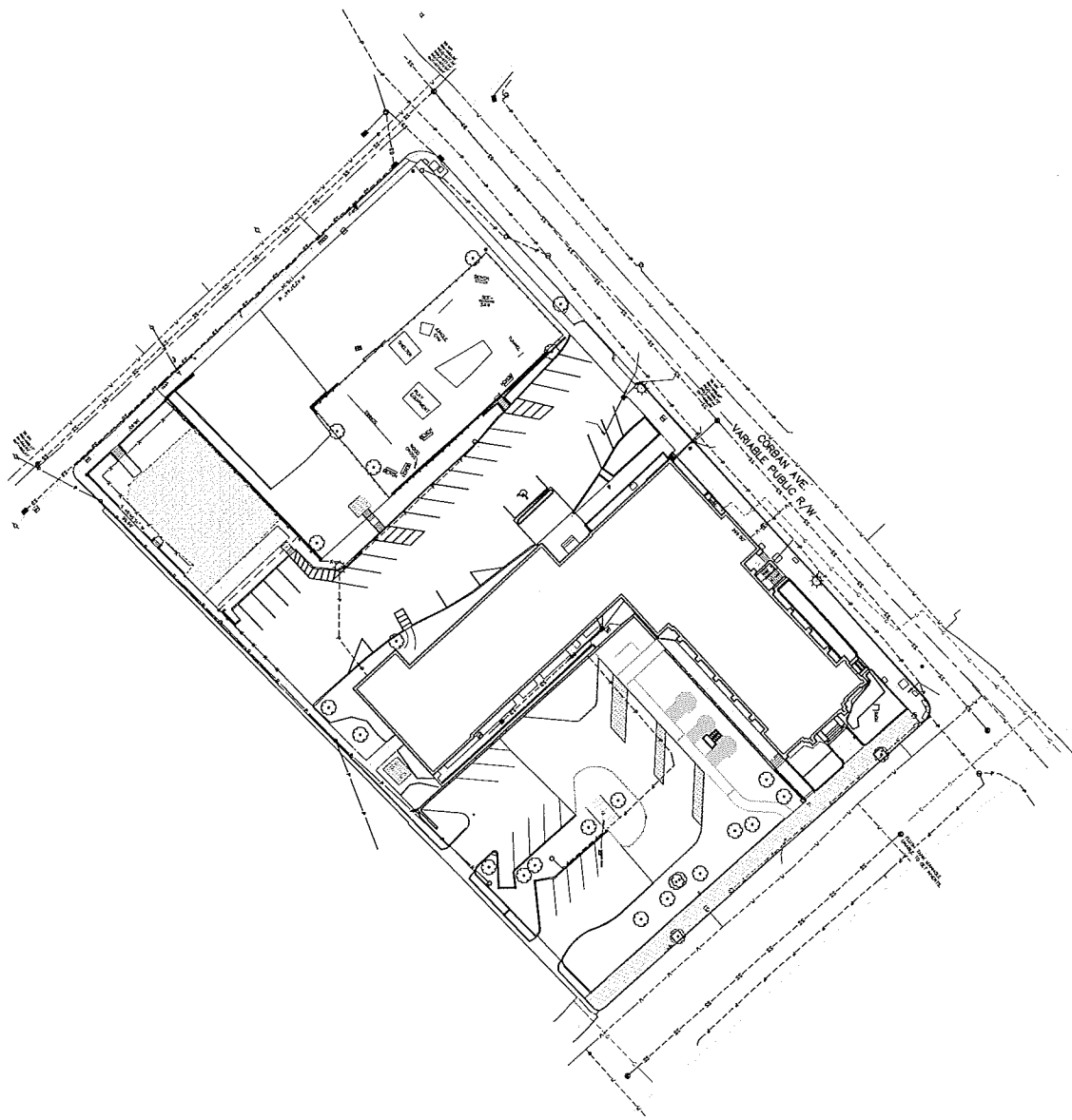
\*\*\*Applications may be submitted electronically.\*\*\*

**Certification**

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

8/27/18  
 Date

Joseph Beasley for St. James Lutheran Church  
 Signature of Owner/Agent Property Chair & Assistant Treasurer





# Columbarium Garden

for

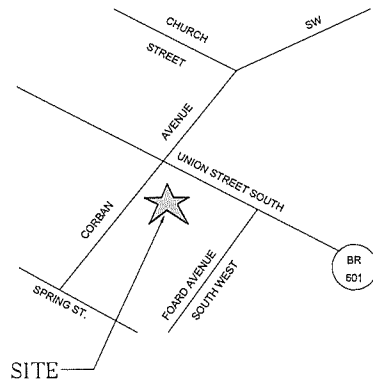
## St. James Lutheran Church

ST. JAMES LUTHERAN CHURCH  
CONCORD, NORTH CAROLINA  
5-15-18



### VICINITY MAP

NOT TO SCALE



### DRAWING SET

SHEET DESCRIPTION

COVER SHEET

SHEET	DESCRIPTION
L-1	EXISTING CONDITIONS & DEMOLITION PLAN
L-2	OVERALL SITE PLAN
L-3	SITE PLAN
L-4	NICHE WALL DETAILS (5 HIGH x 3 WIDE)
L-5	NICHE WALL DETAILS (3 HIGH x 4 WIDE)
L-6.1	NICHE WALL DETAILS (NICHE & MEMORIAL WALL)
L-6.2	NICHE WALL DETAILS (NICHE & MEMORIAL WALL)
L-7	GRANITE BENCH DETAIL
L-8	PLANTING PLAN

### PROJECT DATA

OWNER: ST. JAMES EVANGELICAL LUTHERAN  
SITE ADDRESS: 104 UNION STREET SOUTH  
CONCORD, NC, 28025  
MAILING ADDRESS: PO BOX 684  
CONCORD, N.C., 28026  
PHONE NUMBER: 704-786-0166

PARCEL NUMBERS: 5620-97-3177, 5620-97-5200,  
5600-972182, 5600-97-2092,  
& 5600-96-3958

DEED ACREAGE: 2.006 ACRES  
ZONING: CC  
OVERLAY DISTRICT: SOUTH UNION HISTORIC DISTRICT

PROJECT AREA: 0.28 AC. (12,200 sf), 14% OF SITE  
DISTURBED AREA: 0.22 AC. (9,775 sf), 11% OF SITE

EXISTING IMPERVIOUS SURFACE: 49,336 sf (1.13 ac. ), 56.33% OF SITE  
PROPOSED IMPERVIOUS (INCLUDING FUTURE COLUMBARIUM  
ADDITIONS): 48,596 sf (1.12 ac.), 55.83% OF SITE  
ALLOWED IMPERVIOUS SURFACE: 70%



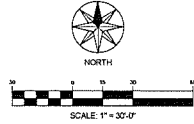
COLUMBARIUM PLANNERS, INC.

5-15-18

Exhibit D

**LKC** engineering,pllc  
348 Aqua Street Court  
Asheboro, North Carolina, 28315  
O: 910-292-1437  
F: 910-292-2996  
lkcp@lkceng.com  
License No. P-1095

- BOUNDARY TOPOGRAPHY AND ALL OTHER EXISTING CONDITIONS TAKEN FROM SURVEY PREPARED BY CES LAND DEVELOPMENT SERVICES, DATED 6-14-2012.
- ALL EXISTING UNDERGROUND UTILITIES AND DRAINAGE IN THE PROJECT AREA SHALL BE LOCATED AND MARKED IN FIELD PRIOR TO CONSTRUCTION. THE PRESENCE OF UNDERGROUND UTILITIES MAY ALTER THE DESIGN.
- PROJECT AREA 12.7004 ACRES DISTURBED AREA 10.2004 ACRES.
- ALL MATERIAL TO BE REMOVED FROM SITE SHALL BE DISPOSED OF IN AN APPROPRIATE LANDFILL CERTIFIED TO RECEIVE SUCH MATERIALS.



**BEFORE YOU DIG  
CALL 811**  
N.C. ONE-CALL CENTER  
IT'S THE LAW!



**COLUMBARIUM  
PLANNERS, INC.**  
PINEHURST, NORTH CAROLINA

P.O. Box 5255  
Pinehurst, NC 28374  
Telephone 910-295-8229  
Fax 910-295-8229

**St. JAMES  
LUTHERAN  
CHURCH**

CONCORD  
NORTH CAROLINA

**LKC** engineering, p.l.l.c.

140 Apple Street Court  
Asheboro, North Carolina, 28315  
O: 910-220-1337  
F: 910-217-5296  
lkcengineering.com  
License No. P-11993

LKC ENGINEERING HAS DEVELOPED THESE PLANS UNDER AN AGREEMENT WITH COLUMBARIUM PLANNERS, INC. LKC ENGINEERING HAS EXCLUSIVE AUTHORITY IN PREPARING PLANS, CONSTRUCTION DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS REQUIRED TO BUILD THIS COLUMBARIUM.

SEAL

**PRICING SET  
NOT FOR  
CONSTRUCTION**

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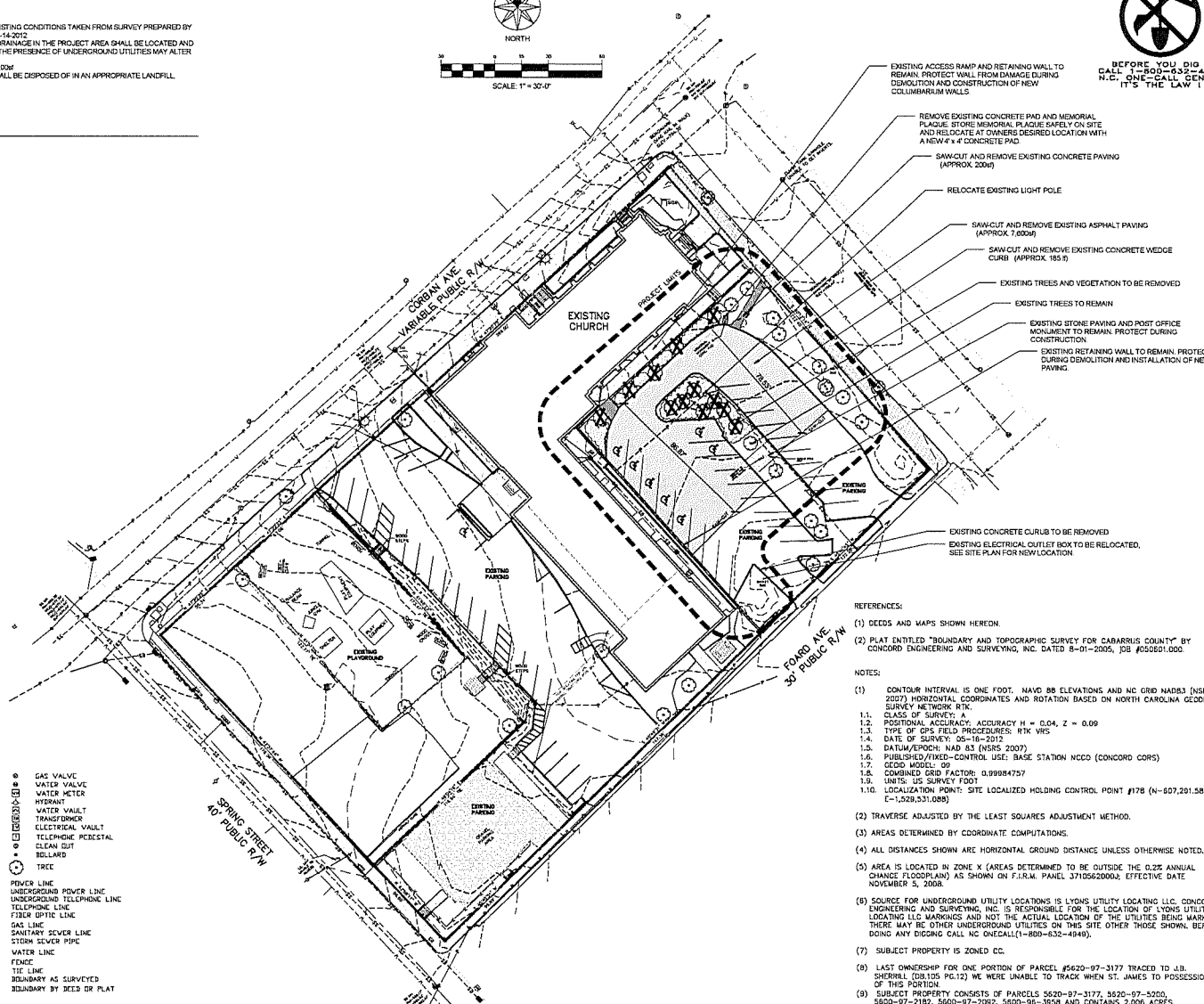
DATE THIS HISTORY		
DATE	DRAWN BY	DATE
10/26/10	WES	8-15-10

SCALE: **L-1**  
**Existing Conditions  
& Demolition Plan**

PROJECT: THP XXXX-YR  
DRAWING PATH:  
10/14/2010 10:58:10 AM

**1 DEMOLITION NOTES**

L-1



- EXISTING ACCESS RAMP AND RETAINING WALL TO REMAIN. PROTECT WALL FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF NEW COLUMBARIUM WALLS.
- REMOVE EXISTING CONCRETE PAD AND MEMORIAL PLAZA. STORE MEMORIAL PLAZA SAFELY ON SITE AND RELOCATE AT OWNERS DESIRED LOCATION WITH A NEW 4' x 4' CONCRETE PAD.
- SAW-CUT AND REMOVE EXISTING CONCRETE PAVING (APPROX. 2000').
- RELOCATE EXISTING LIGHT POLE.
- SAW-CUT AND REMOVE EXISTING ASPHALT PAVING (APPROX. 7,000').
- SAW-CUT AND REMOVE EXISTING CONCRETE WEDGE CURB (APPROX. 185.5').
- EXISTING TREES AND VEGETATION TO BE REMOVED.
- EXISTING TREES TO REMAIN.
- EXISTING STONE PAVING AND POST OFFICE MONUMENT TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING RETAINING WALL TO REMAIN. PROTECT DURING DEMOLITION AND INSTALLATION OF NEW PAVING.
- EXISTING CONCRETE CURB TO BE REMOVED.
- EXISTING ELECTRICAL OUTLET BOX TO BE RELOCATED. SEE SITE PLAN FOR NEW LOCATION.

- REFERENCES:
- DEEDS AND MAPS SHOWN HEREON.
  - PLAT ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR CABARRUS COUNTY" BY CONCORD ENGINEERING AND SURVEYING, INC. DATED 8-01-2008, JOB #22001.000.

- NOTES:
- CONTOUR INTERVAL IS ONE FOOT. NAVD 88 ELEVATIONS AND NC GRID NAD83 (NSRS 2007) HORIZONTAL COORDINATES AND ROTATION BASED ON NORTH CAROLINA GEODETIC SURVEY NETWORK RTK.
    - CLASS OF SURVEY: A
    - POSITIONAL ACCURACY: ACCURACY H = 0.04, Z = 0.09
    - TYPE OF GPS FIELD PROCEDURES: RTK WRS
    - DATE OF SURVEY: 05-18-2012
    - DATUM/EPOCH: NAD 83 (NSRS 2007)
    - PUBLISHED/FIXED-CONTROL USE: BASE STATION NCCD (CONCORD CORS)
    - GEOD MODEL: 09
    - COMBINED GRID FACTOR: 0.99984757
    - UNITS: US SURVEY FOOT
    - LOCALIZATION POINT: SITE LOCALIZED HOLDING CONTROL POINT #178 (N-607,201.588, E-1,529,531.088)
  - TRaverse ADJUSTED BY THE LEAST SQUARES ADJUSTMENT METHOD.
  - AREAS DETERMINED BY COORDINATE COMPUTATIONS.
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCE UNLESS OTHERWISE NOTED.
  - AREA IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON F.I.R.M. PANEL 3710562000U; EFFECTIVE DATE NOVEMBER 5, 2008.
  - SOURCE FOR UNDERGROUND UTILITY LOCATIONS IS LYONS UTILITY LOCATING LLC, CONCORD ENGINEERING AND SURVEYING, INC. IS RESPONSIBLE FOR THE LOCATION OF LYONS UTILITY LOCATING LLC MARKINGS AND NOT THE ACTUAL LOCATION OF THE UTILITIES BEING MARKED. THERE MAY BE OTHER UNDERGROUND UTILITIES ON THIS SITE OTHER THOSE SHOWN, BEFORE DOING ANY DIGGING CALL NC ONECALL(1-800-632-4146).
  - SUBJECT PROPERTY IS ZONED CC.
  - LAST OWNERSHIP FOR ONE PORTION OF PARCEL #6620-97-3177 TRACED TO J.B. SHERILL (DB105 PG12) WE WERE UNABLE TO TRACK WHEN ST. JAMES TO POSSESSION OF THIS PORTION.
  - SUBJECT PROPERTY CONSISTS OF PARCELS 5620-97-3177, 5620-97-5200, 5600-97-2182, 5600-97-2092, 5600-95-3658 AND CONTAINS 2.006 ACRES.

- LEGEND**
- NO POINT SET
  - SET IRON PIN
  - EXISTING IRON PIN (AS DESCRIBED)
  - + SPOT ELEVATION
  - SANITARY SEWER MANHOLE
  - TELEPHONE MANHOLE
  - ELECTRICAL MANHOLE
  - LIGHT POLE
  - GAS VALVE
  - WATER VALVE
  - WATER METER
  - HYDRANT
  - WATER VAULT
  - TRANSFORMER
  - ELECTRICAL VAULT
  - TELEPHONE RECRESTAL
  - CLEAN OUT
  - BOLLARD
  - TREE
  - POWER LINE
  - UNDERGROUND POWER LINE
  - UNDERGROUND TELEPHONE LINE
  - TELEPHONE LINE
  - FIBER OPTIC LINE
  - GAS LINE
  - SANITARY SEWER LINE
  - STORM SEWER PIPE
  - WATER LINE
  - FENCE
  - TIE LINE
  - BOUNDARY AS SURVEYED
  - BOUNDARY BY DEED OR PLAT

**3 SURVEY LEGEND**

L-1

**2 SURVEY NOTES**

L-1

**BEFORE YOU DIG I**  
CALL 1-800-632-4548  
O.C. INC.-CALL CENTER  
IT'S THE LAW!



**COLUMBARIUM PLANNERS, INC.**  
PINEHURST, NORTH CAROLINA  
P.O. Box 5255  
Pinehurst, NC 28574  
Telephone 919-285-6524  
Fax 919-285-3420

**St. JAMES LUTHERAN CHURCH**

CONCORD  
NORTH CAROLINA

**LKC** engineering,plc  
143 Apple Shed Court  
Abbeville, North Carolina, 28515  
O: 919-426-2337  
F: 919-431-5296  
lkcengineering.com  
License No. 70-2095

LKC ENGINEERS HAS DEVELOPED THESE PLANS UNDER AN AGREEMENT WITH COLUMBARIUM PLANNERS, INC. LKC ENGINEERING HAS EXCLUSIVE AUTHORITY IN PREPARING PLANS, CONSTRUCTION DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS REQUIRED TO BUILD THIS COLUMBARIUM.

**PRICING SET NOT FOR CONSTRUCTION**

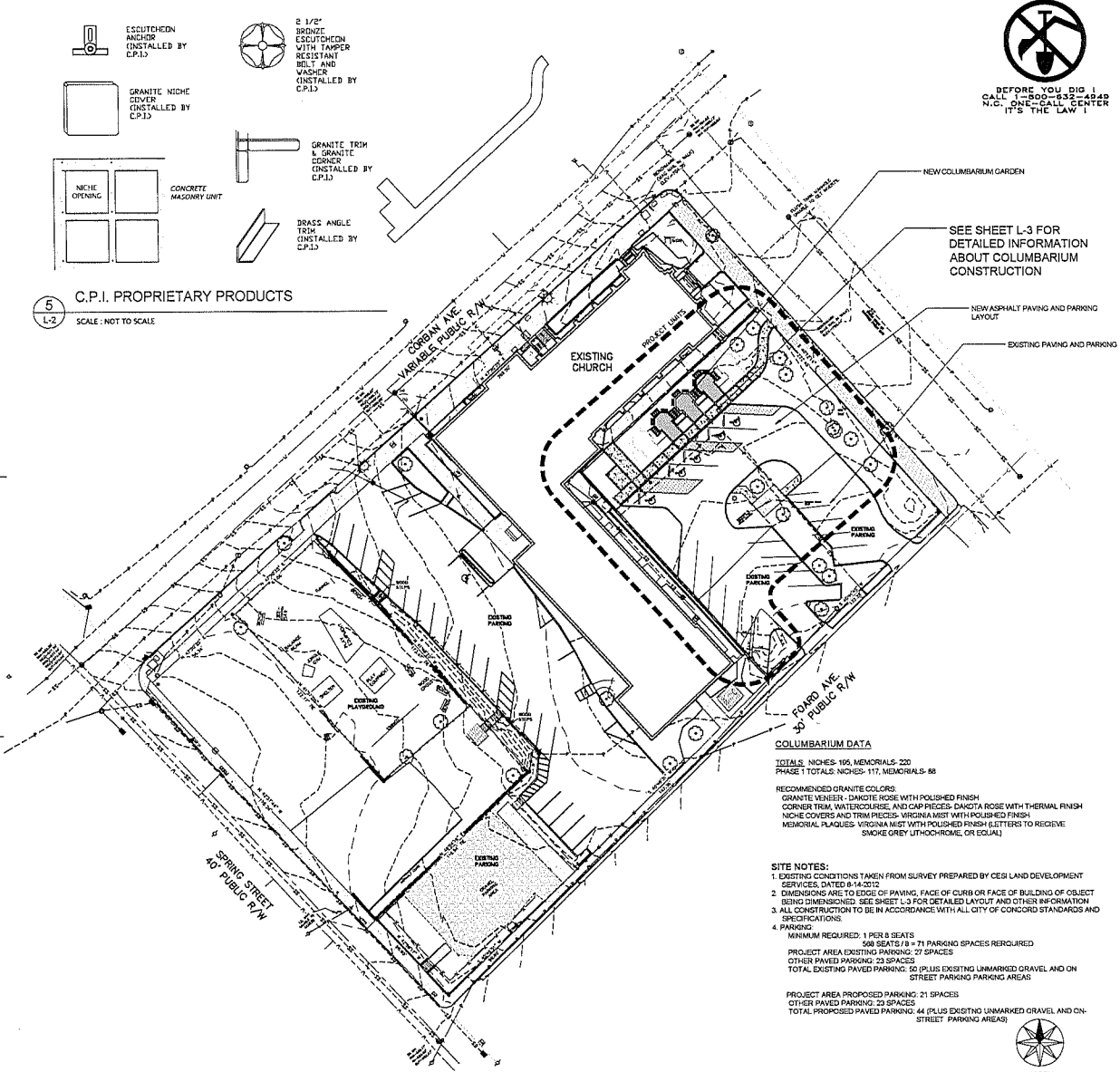
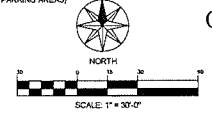
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DRAWING METHOD:

SCALE	DATE	BY	CHK
100% CD	VLS	S-19-18	

Overall Site Plan

PROJECT: THE XXXX-YR

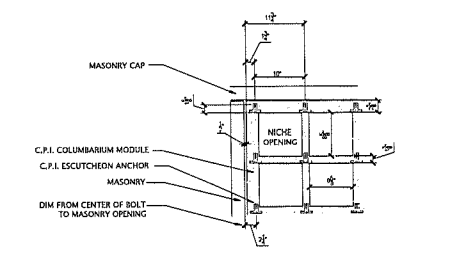


**COLUMBARIUM DATA**

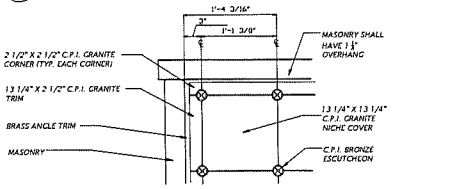
TOTALS: NICHES- 195, MEMORIALS- 220  
PHASE I TOTALS: NICHES- 117, MEMORIALS- 88  
RECOMMENDED GRANITE COLORS:  
GRANITE VENEER- DANTE ROSE WITH POLISHED FINISH  
CORNER TRIM, WATERCOURSE, AND CAP PIECES- DANOT A ROSE WITH THERMAL FINISH  
NICHE COVERS AND TRIM PIECES- VIRGINIA MUST WITH POLISHED FINISH  
MEMORIAL PLAQUES- VIRGINIA MUST WITH POLISHED FINISH (LETTERS TO RECEIVE SMOKE GREY LITHOCHROME OR EQUAL)

**SITE NOTES:**

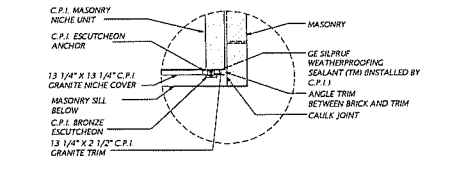
- EXISTING CONDITIONS TAKEN FROM SURVEY PREPARED BY CES LAND DEVELOPMENT SERVICES, DATED 8-14-2012
- DIMENSIONS ARE TO EDGE OF PAVING, FACE OF CURB OR FACE OF BUILDING OF OBJECT BEING DIMENSIONED. SEE SHEET L-3 FOR DETAILED LAYOUT AND OTHER INFORMATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF CONCORD STANDARDS AND SPECIFICATIONS.
- PARKING:  
MINIMUM REQUIRED: 1 PER 8 SEATS  
508 SEATS / 8 = 71 PARKING SPACES REQUIRED  
PROJECT AREA EXISTING PARKING: 27 SPACES  
OTHER PAVED PARKING: 23 SPACES  
TOTAL EXISTING PAVED PARKING: 50 (PLUS EXISTING UNMARKED GRAVEL AND ON STREET PARKING PARKING AREAS)  
PROJECT AREA PROPOSED PARKING: 21 SPACES  
OTHER PAVED PARKING: 23 SPACES  
TOTAL PROPOSED PAVED PARKING: 44 (PLUS EXISTING UNMARKED GRAVEL AND ON-STREET PARKING AREAS)



**1 TOP CORNER DETAIL (WITHOUT GRANITE NICHE COVER)**  
SCALE: NOT TO SCALE

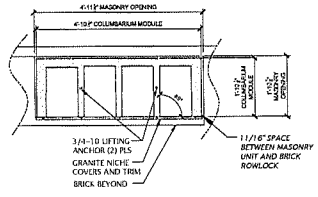


**2 TOP CORNER DETAIL (WITH GRANITE NICHE COVERS)**  
SCALE: NOT TO SCALE

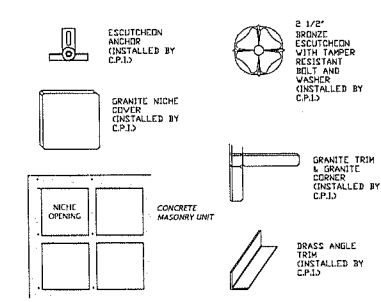


**3 PLAN END SECTION**  
SCALE: NOT TO SCALE

INSTALLATION NOTE:  
EACH COLUMBARIUM MODULE HAS LIFTING ANCHORS ON THE TOP END. USE DAYTON-SUPREEM T-12 SWIVEL LIFT PLATES WITH A 4-TON RATING AND 3/16" 10 NC GRADE 5 BOLT # 2 1/2" MINIMUM FOR SAFE INSTALLATION.



**4 WALL SECTION**  
SCALE: NOT TO SCALE



**5 C.P.I. PROPRIETARY PRODUCTS**  
SCALE: NOT TO SCALE



**COLUMARIUM  
PLANNERS, INC.**  
PINEHURST, NORTH CAROLINA

P.O. Box 5235  
Pinehurst, NC 28374  
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Fax 910-295-3420

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**LKC** engineering,plc

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F: 910-437-0096  
lkc@lkceng.com  
Licence No. P-1599

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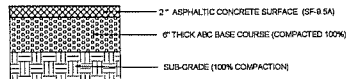
DATE	BY	DR	DATE
10/06/00	CD	W.B.	5-16-15

SHEET **L-3**

**Site Plan**

PROJECT THP XXXX-YR

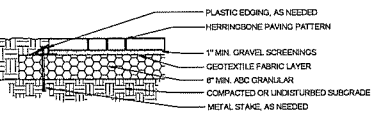
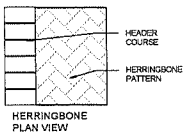
DATE: 10/06/00  
DRAWN BY: W.B.



**1 ASPHALT PAVING DETAIL**

NOT TO SCALE

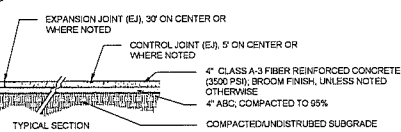
NOTE: MITER ALL CORNERS



**SECTION VIEW PLASTIC EDGE**

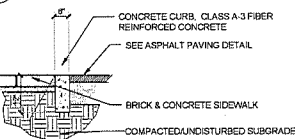
**2 BRICK PAVING DETAIL**

NOT TO SCALE



**3 CONCRETE PAVING DETAIL**

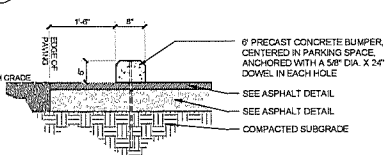
NOT TO SCALE



NOTES:  
• PROVIDE CONTRACTION JOINTS AT 10' O.C.  
• PROVIDE ASPHALT IMPREGATED FIBER BOARD EXPANSION JOINTS AT 30' O.C.  
• ALL CONCRETE TO BE 3,000 P.S.I.

**4 CONCRETE FLUSH CURB DETAIL**

NOT TO SCALE

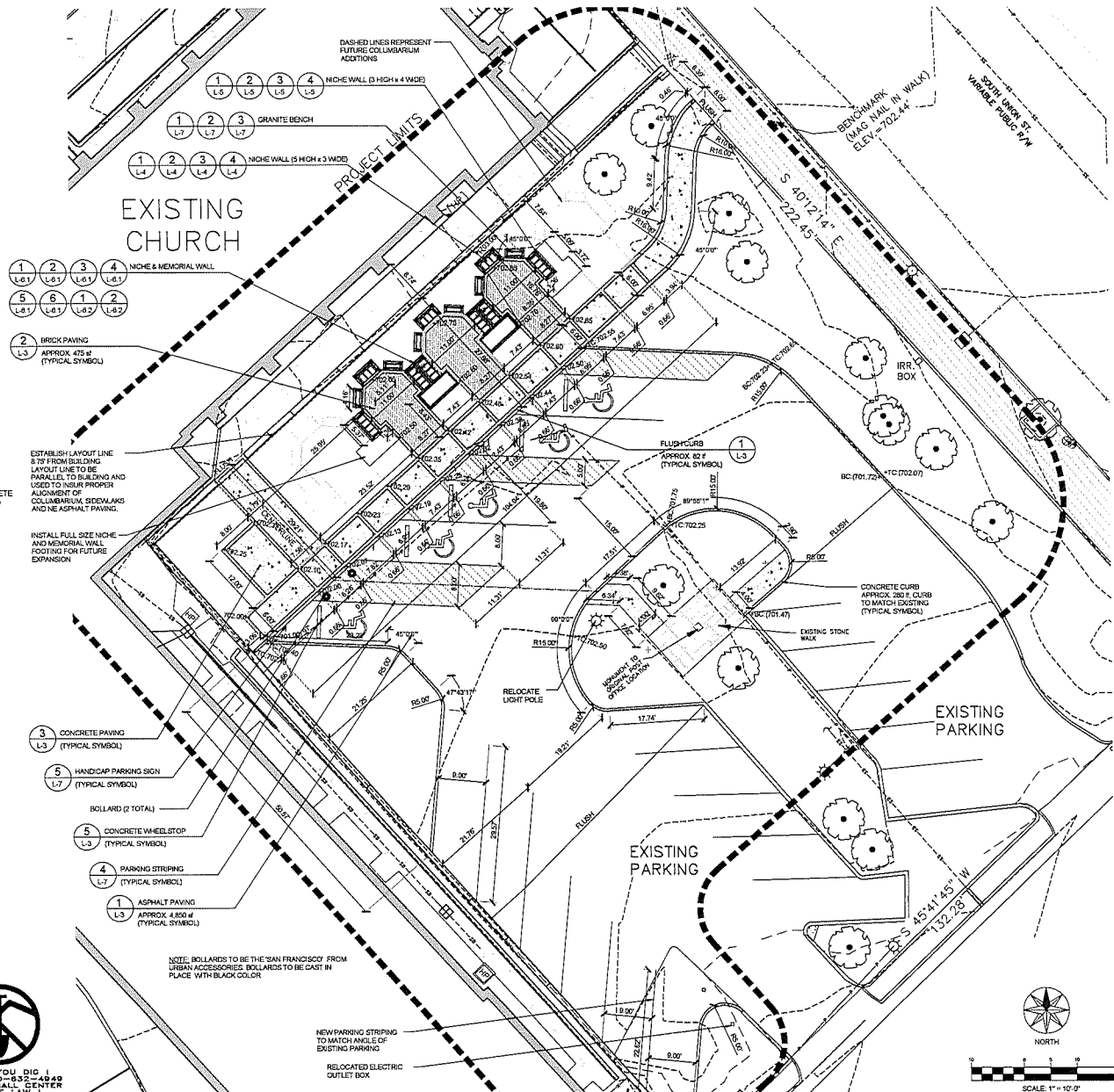


**5 CONCRETE WHEELSTOP DETAIL**

NOT TO SCALE



**BEFORE YOU DIG I  
CALL 1-800-4-A-ROAD  
N.C. ONE-CALL CENTER  
IT'S THE LAW!**





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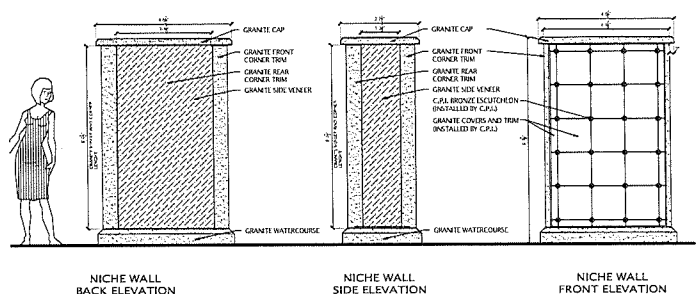
DATE	BY	DR	ITC
10/01/08	CD	WES	0-10-10

SHEET **L-4**

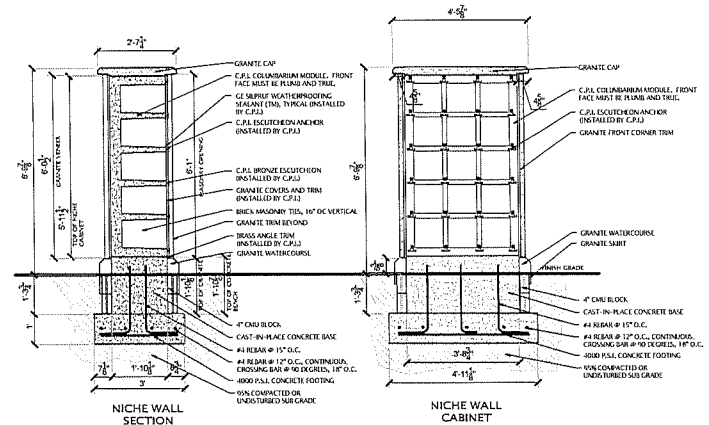
**Niche Wall Details  
(5 High x 3 Wide)**

PROJECT TIF XXXX-YR

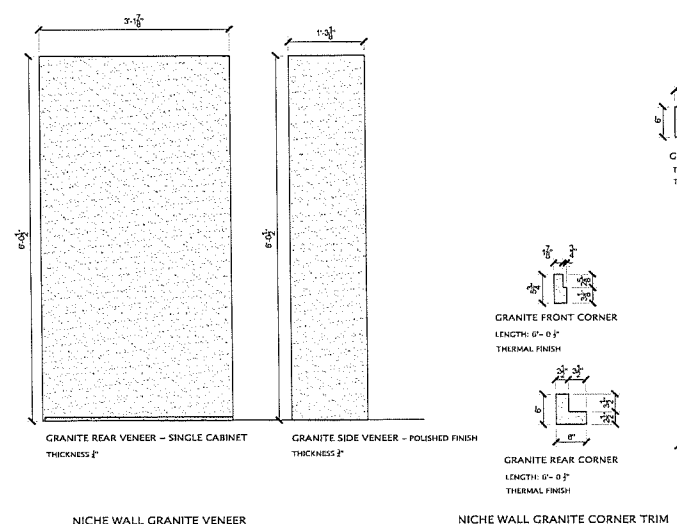
DRAWING PATH  
TOP\FPLN\TIF\lkc\lkc.dwg



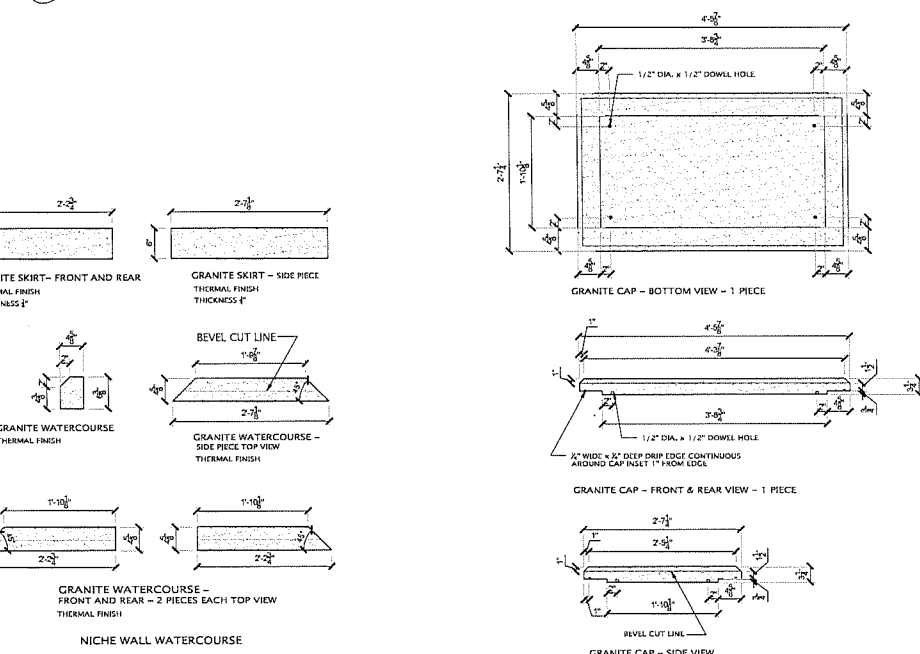
**1 COLUMBARIUM NICHE WALL ELEVATIONS (5 HIGH x 3 WIDE)**  
SCALE: 1/2" = 1'-0"



**2 COLUMBARIUM NICHE WALL SECTIONS (5 HIGH x 3 WIDE)**  
SCALE: 1/2" = 1'-0"



**3 COLUMBARIUM NICHE WALL GRANITE PIECES (5 HIGH x 3 WIDE)**  
SCALE: 1" = 1'-0"



**4 GRANITE WALL CAP (5 HIGH x 3 WIDE)**  
SCALE: 1" = 1'-0"



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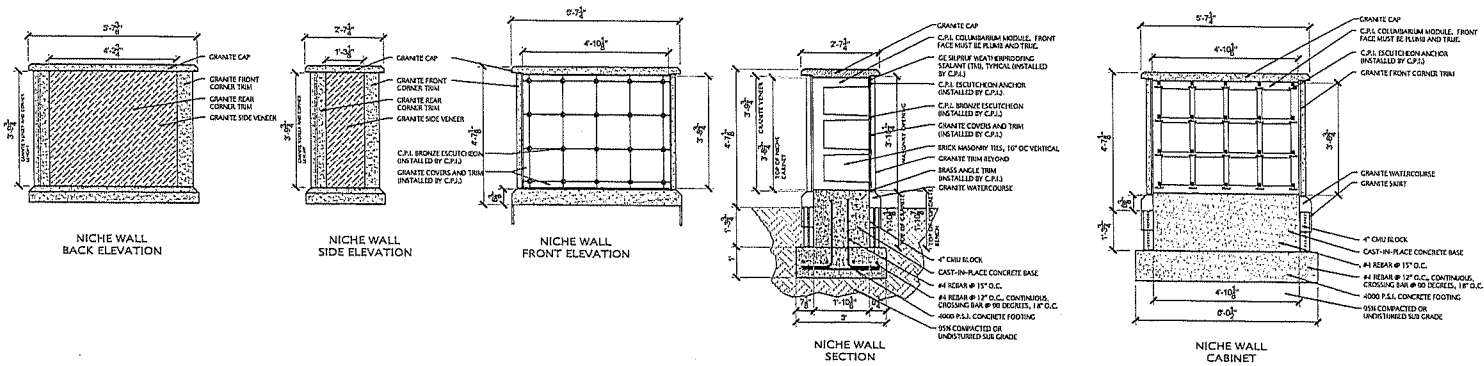
DATE/ISSUE HISTORY		
WORK	DATE	DATE
100% CD	W.S.	8-16-16

SHEET **L-5**

Niche Wall Details  
(3 High x 4 Wide)

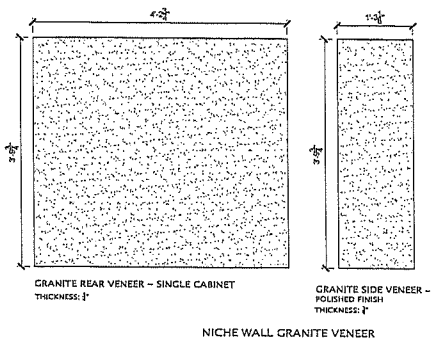
PROJECT THP XXXX-YR

DRAWING PATH  
THP\CAD\THP\NicheWall.dwg

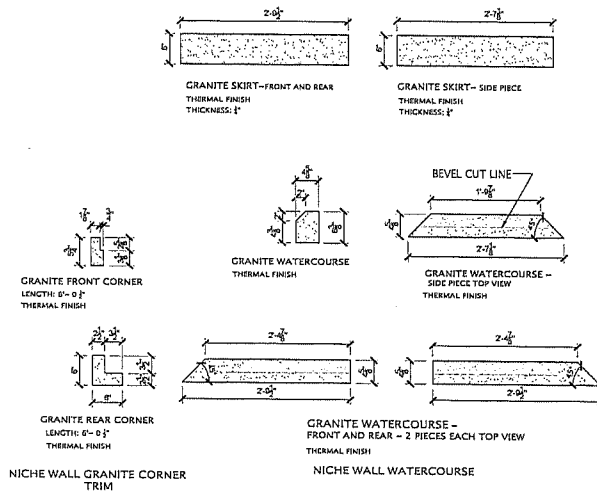


1 COLUMBARIUM NICHE WALL ELEVATIONS (3 HIGH x 4 WIDE).  
SCALE: 1/2" = 1'-0"

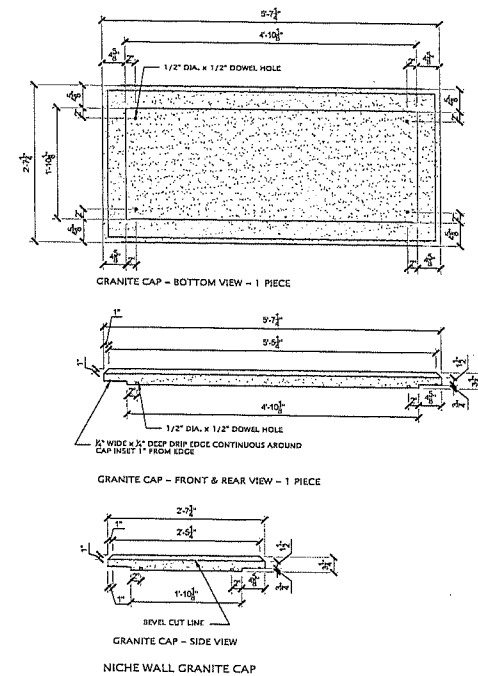
2 COLUMBARIUM NICHE WALL SECTIONS (3 HIGH x 4 WIDE).  
SCALE: 1/2" = 1'-0"



3 COLUMBARIUM NICHE WALL GRANITE PIECES (3 HIGH x 4 WIDE).  
SCALE: 1" = 1'-0"



4 GRANITE WALL CAP (5 HIGH x 3 WIDE).  
SCALE: 1" = 1'-0"





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 F: 919-437-9096  
 lkeengineering.com  
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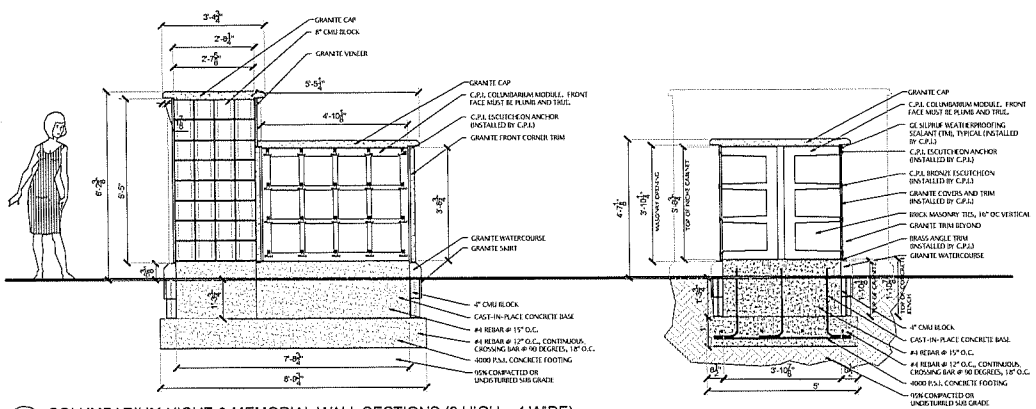
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DATE	DESCRIPTION	BY	DATE

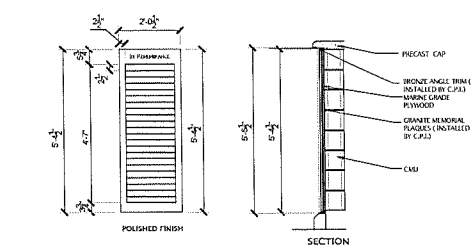
SHEET L-6.1

Niche Wall Details (Niche & Memorial Wall)

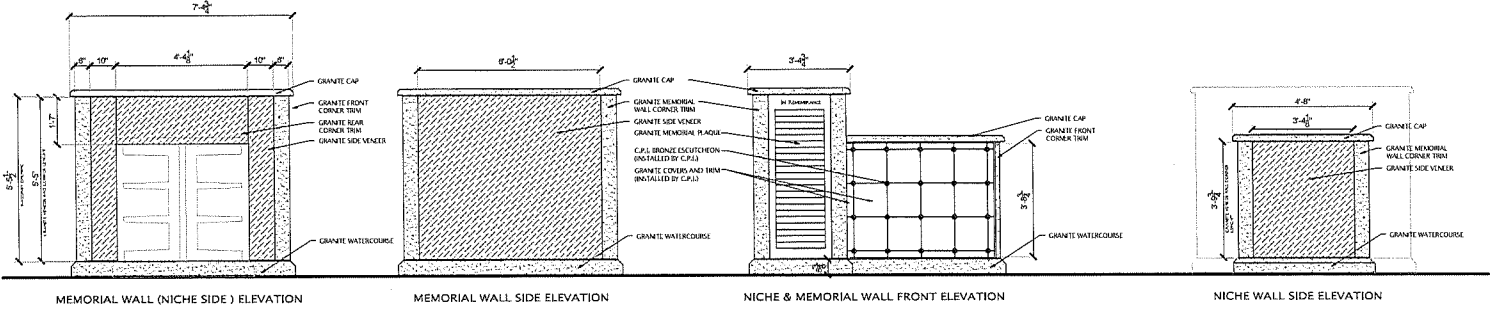
PROJECT: THP XXXXX-YR  
 DRAWING: P-111  
 TYPED BY: [Signature]



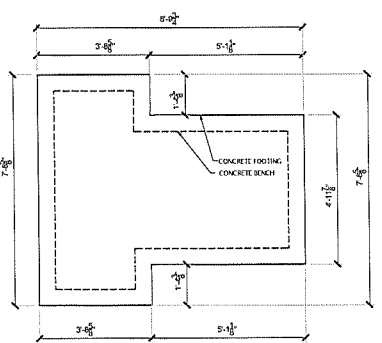
1 COLUMBARIUM NICHE & MEMORIAL WALL SECTIONS (3 HIGH x 4 WIDE)  
 L-6.1 SCALE: 1/2" = 1'-0"



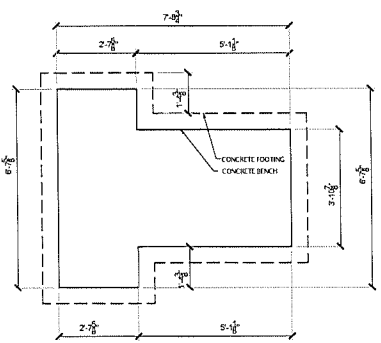
2 MEMORIAL PLAQUE (22 MEMORIALS)  
 L-6.1 SCALE: 1/2" = 1'-0"



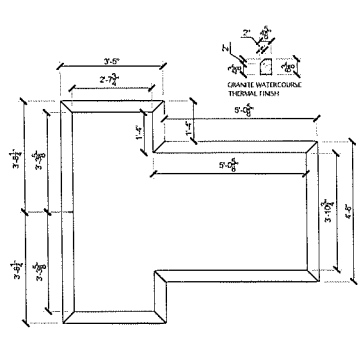
3 COLUMBARIUM NICHE & MEMORIAL WALL ELEVATIONS (3 HIGH x 4 WIDE)  
 L-6.1 SCALE: 1/2" = 1'-0"



4 COLUMBARIUM NICHE & MEMORIAL WALL FOOTING  
 L-6.1 SCALE: 1/2" = 1'-0"



5 COLUMBARIUM NICHE & MEMORIAL WALL CONCRETE BENCH  
 L-6.1 SCALE: 1/2" = 1'-0"



6 NICHE & MEMORIAL WALL GRANITE WATERCOURSE  
 L-6.1 SCALE: 1/2" = 1'-0"



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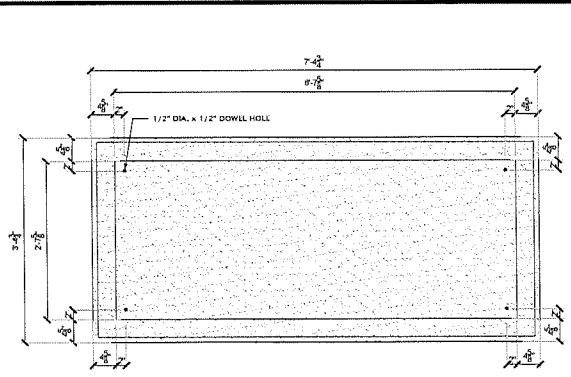
DATE/DESCRIPTION		
WORK	DRAFTER	DJ TC
100% CD	WLS	5-16-18

TITLE: **L-6.2**

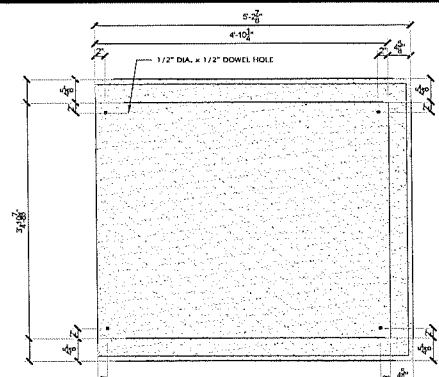
**Niche Wall Details  
(Niche & Memorial Wall)**

PROJECT: THF XXXX-YR

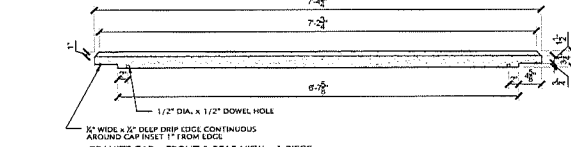
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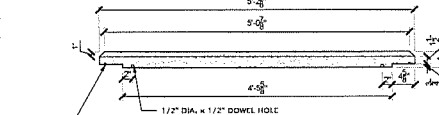
GRANITE CAP - BOTTOM VIEW - 1 PIECE  
MEMORIAL WALL GRANITE CAP



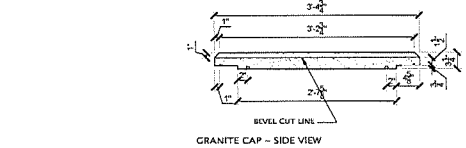
GRANITE CAP - BOTTOM VIEW - 1 PIECE  
NICHE WALL GRANITE CAP



GRANITE CAP - FRONT & REAR VIEW - 1 PIECE

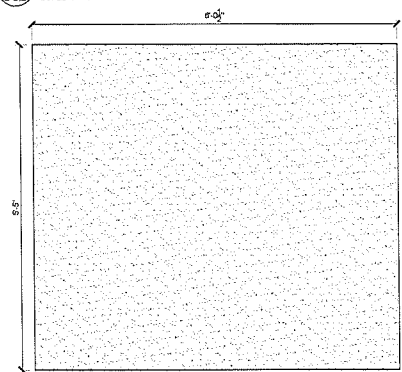


GRANITE CAP - FRONT & REAR VIEW - 1 PIECE

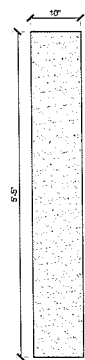


GRANITE CAP - SIDE VIEW

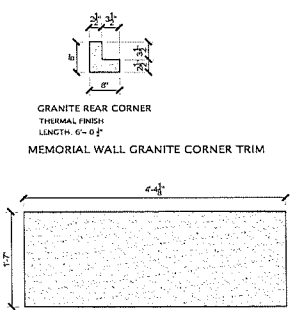
**1 COLUMBARIUM NICHE & MEMORIAL CAPS (3 HIGH x 4 WIDE)**  
SCALE: 1" = 1'-0"



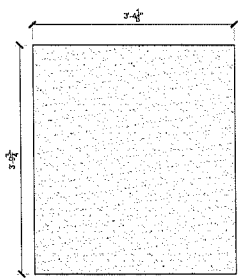
GRANITE MEMORIAL WALL SIDE VENEER -  
POLISHED FINISH  
THICKNESS: 3"



GRANITE MEMORIAL WALL  
NICHE SIDE VENEER -  
POLISHED FINISH  
THICKNESS: 3"



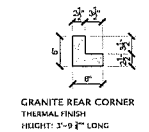
GRANITE MEMORIAL WALL (NICHE SIDE) VENEER -  
POLISHED FINISH  
THICKNESS: 3"



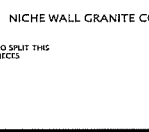
NICHE WALL GRANITE SIDE VENEER -  
POLISHED FINISH  
THICKNESS: 3"



GRANITE REAR CORNER  
THERMAL FINISH  
LENGTH: 3'-9" LONG



GRANITE FRONT CORNER  
THERMAL FINISH  
HEIGHT: 3'-9" LONG



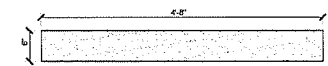
GRANITE REAR CORNER  
THERMAL FINISH  
HEIGHT: 3'-9" LONG

NICHE WALL GRANITE CORNER TRIM

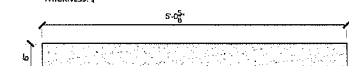
**2 COLUMBARIUM MEMORIAL & NICHE WALL GRANITE PIECES**  
SCALE: 1" = 1'-0"

NOTE: CONTRACTOR HAS OPTION TO SPLIT THIS VENEER INTO TWO OR THREE EQUAL WIDTH PIECES

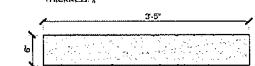
**3 COLUMBARIUM NICHE & MEMORIAL WALL GRANITE SKIRTS**  
SCALE: 1" = 1'-0"



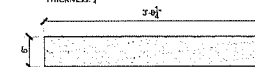
GRANITE SKIRT - NICHE WALL SIDE PIECE  
THERMAL FINISH  
THICKNESS: 3"



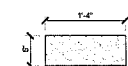
GRANITE SKIRT - NICHE WALL FRONT PIECE  
THERMAL FINISH  
THICKNESS: 3"



GRANITE SKIRT - MEMORIAL FRONT PIECE  
THERMAL FINISH  
THICKNESS: 3"



GRANITE SKIRT - MEMORIAL SIDE PIECE  
THERMAL FINISH  
THICKNESS: 3"



GRANITE SKIRT - MEMORIAL SIDE PIECE  
THERMAL FINISH  
THICKNESS: 3"





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License No. PE 1995

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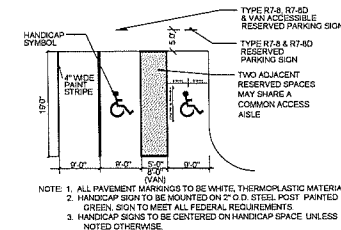
NO.	DESCRIPTION	DATE
100% CD	WLS	5-16-18

SCALE: L-7

Granite Bench  
Details

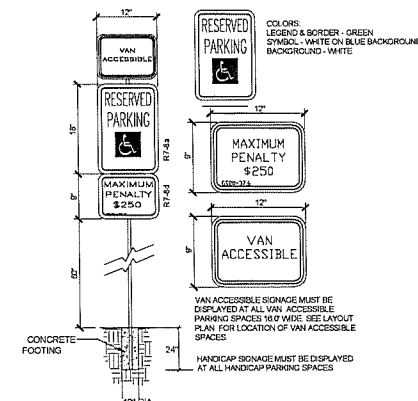
PROJECT: THP XXXX-YR

DATE: 5/18/18



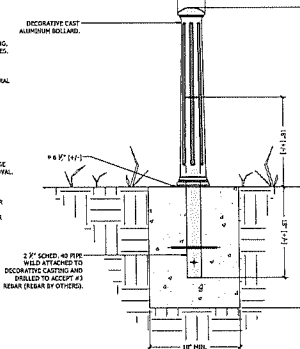
1. ALL PAVEMENT MARKINGS TO BE WHITE, THERMOPLASTIC MATERIAL.
2. HANDICAP SIGN TO BE MOUNTED ON 2" DIA. STEEL POST PAINTED GREEN. SIGN TO MEET ALL FEDERAL REQUIREMENTS.
3. HANDICAP SIGNS TO BE CENTERED ON HANDICAP SPACE UNLESS NOTED OTHERWISE.

4 PARKING STRIPING DETAIL  
NOT TO SCALE



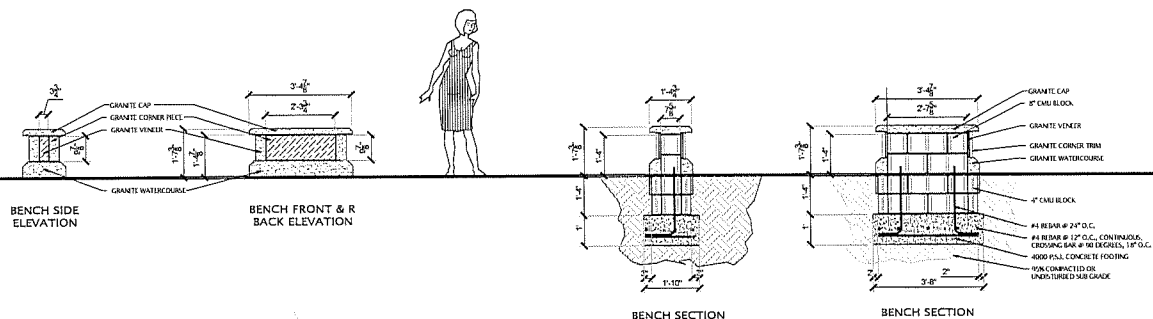
5 HANDICAP PARKING SIGN DETAIL  
NOT TO SCALE

- CAST COMPONENTS WILL BE OF 100% RECYCLED ALUMINUM, ANODIZED.
- CASTINGS WILL BE SQUARED AND FLAT, FREE OF BURRS, SLAG, AIR POCKETS, BLOW HOLES, PLATING, AND CONTAINS NO WELDING OR EXPOSED SURFACES. EXCESSIVE WARPING OR SHRINKAGE IS NOT ACCEPTABLE.
- FABRICATED COMPONENTS WILL BE OF STRUCTURAL ALUMINUM, 6061-T6.
- ALL WELDING SHALL BE GRINDING SMOOTH ON OUTSIDE EDGES.
- FINISH TO BE POWDER COAT, STANDARD UNIFORM COLOR AND APPLIED PER I.A. SPECIFICATIONS, IF ALTERNATE COLOR OR FINISH IS REQUESTED, PLEASE PROVIDE ALL FINISH INFORMATION FOR I.A. APPROVAL.
- EMBODIMENT SHOWN ARE OPTIONAL.
- FOR CAGES OF 10" SQUARE CROSS-SECTION, OUR FINISHED WALL SIZE PRODUCT SHOULD BE COMPARED WITH THE ALTERNATIVE PRODUCT FOR GENERAL QUALITY, SURFACE FINISH, FINISH PATTERN, WORKING CHARACTERISTICS, AND OVERALL DESIGN AESTHETICS.

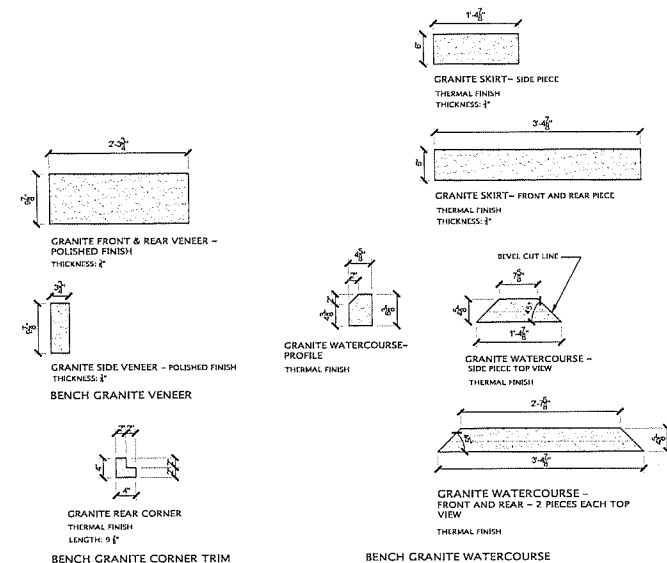


BOLLARD TO BE CAST-IN-PLACE WITH BLOCK COLOR.

6 BOLLARD DETAIL  
NOT TO SCALE

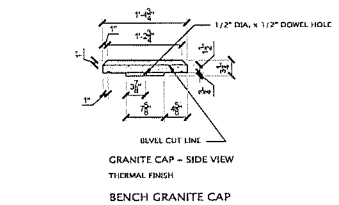


1 COLUMBARIUM GRANITE BENCH  
SCALE: 1/2" = 1'-0"



2 GRANITE BENCH GRANITE PIECES  
SCALE: 1/2" = 1'-0"

3 GRANITE BENCH CAP  
SCALE: 1/2" = 1'-0"



3 GRANITE BENCH CAP  
SCALE: 1/2" = 1'-0"

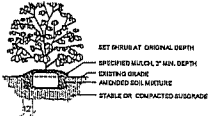
6 BOLLARD DETAIL  
NOT TO SCALE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>LARGE TREES</b>			
7	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CREPHE MYRTLE	10'-12' HT. MIN. MULTI STEM
3	LILYDIA PARVIFLORA	LACEDARK ELM	3" CAL., 12-14 FT. MIN.
<b>SHRUBS</b>			
53	ABELIA GRANDIFLORA 'KALIDOSCOPE'	KALIDOSCOPE ABELIA	12'-15' HT.
27	DISTYLIUM X BLUE CASCADE	BLUE CASCADE DISTYLIUM	15'-18' HT.
83	HEMEROCALIS HAPPY RETURNS	HAPPY RETURNS DAYLILY	1 GAL.
12	ILEX CRENATA 'GREENLUSTRE'	GREENLUSTRE HOLLY	18'-24" HT.
8	ILEX CORNUTA 'BURFORD NANA'	DWARF BURFORD HOLLY	30'-38" HT.
18	INCENZEDRUM ROBLESZA	AUTUMN BONFIRE ENCORE AZALEA	12'-18" HT.

**PLANTING SCHEDULE**

- THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH COMPETENT RELIABLE SOURCES TO SECURE THAT AN ADEQUATE SUPPLY OF THE REQUIRED PLANT MATERIAL IS AVAILABLE. THIS SHALL BE COMPLETED A MINIMUM OF THREE MONTHS PRIOR TO PLANTING DATE TO ALLOW FOR PLANT COLLECTION, STORAGE AND PREPARATION. CONTRACTOR IS RESPONSIBLE FOR NOTICING ALL PLANT MATERIAL IN THE APPROPRIATE SEASON FOR EACH PLANT TYPE.
- ALL PLANT MATERIAL RECEIVED FROM CONTRACTOR, WHOLESALE SUPPLIER OR MANUFACTURER, EXCEPT WHOLESALE SPECIFIED, FOR WHOLESALE SPECIFIED BY THE AMERICAN STANDARD OF MANUFACTURING SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD.
- ALL PLANT MATERIAL UNLESS OTHERWISE SPECIFIED, SHALL BE UNIFORMLY BRANCHED AND HAVE A WOUNDING ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY UNIFORM IN COLOR AND FREE FROM INSECTS, DISEASES, MITE DAMAGE, WILT DISEASE, SHEARED BARK, HEAVY WOUNDS, PEEL, CRACKS, AND ALL FORMS OF DEFOLIATION. ALL PLANT MATERIAL SHALL BE FRESH, FREE FROM TRANSPORT SHOCK OR WILDLIFE WELLS. UNHEALTHY SPECIES IS UNACCEPTABLE. PLANTS FROM SOIL STORAGE ARE UNACCEPTABLE.
- PLANT MATERIAL SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE UPON ARRIVAL AT THE PROJECT SITE. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL. FOURTEEN (14) DAYS PRIOR TO PLANTING DATE.
- PLANTS NOT INSTALLED ON THE DAY OF ARRIVAL AT THE SITE WILL BE STORED AND PROTECTED OUTSIDE STORAGE LOCATIONS WILL BE CONTINUALLY SHADDED AND PROTECTED FROM THE WIND AND SOIL. PLANTS STORED ON SITE WILL BE PROTECTED FROM ANY STINGS OF OTHER SIMILAR MACHINERY MATERIALS.
- THE CONTRACTOR SHALL APPROVE ALL PLANT MATERIAL AS WELL AS THE LOCATION OF ALL PLANTING ZONES WILL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE. CONTRACTOR MAY BE RESPONSIBLE FOR REPLANTING ANY PLANT MATERIAL INSTALLED WITHOUT APPROVAL BY THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL MAKE FINAL APPROVAL FOR THE SELECTION OF SPECIES/STYLINGS USED IN PLANTING. ALL REQUESTS FOR SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE OWNER PRIOR TO PLANTING.
- COMPOSTED, NITROGEN, OR OTHER CONTROLLED RELEASE GRANULAR GRADE GRANULAR FREE FLOWS (10-6-10) FERTILIZER SHALL BE APPLIED IN EACH PLANTING HOLE ACCORDING TO MANUFACTURER'S LABEL OR OTHER SPECIFICATIONS. THE SELECTION OF FERTILIZER AND ALL APPLICATION SPECIFICATIONS SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO GUARANTEE AND MAINTAIN ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. THIS SHALL BE ACCORDING WITH THE APPROPRIATE SECTION OF THE SPECIAL PROVISIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AS A RESULT OF HIS WORK PERFORMED DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUING CARE PLANTING FOR ONE YEAR AFTER PLANTING.
- PLANT LOCATIONS ARE APPROXIMATE. FIELD STAKING SHOULD BE DONE TO AVOID UNDERGROUND UTILITIES.
- PROVIDE CONTAINER WHEELS AND UNDERGROUND AREAS INCLUDING WEDDING LOUIS GRASS AREAS, IF ANY, AND AT THE BASE OF SPECIFIC TREES IN A 6" MINIMUM DIAMETER, WHICH TO BE PAVE STRAIN LINES NOTED OTHERWISE. INCLUDE SIGN NOT TO CONTACT.
- SIZE OF PLANT MATERIAL IN PLANT SCHEDULE ARE TO BE CONSIDERED UNIFORM.
- ALL UTILITIES SHALL BE LOCATED AND MARKED BY FIELD WORK PRIOR TO INSTALLATION OF PLANTS. NO PLANTS SHALL BE LOCATED ABOVE UTILITIES OR IN ANY OTHER MANNER WHICH COULD BE DANGEROUS TO THE INSTALLATION OF UTILITIES.
- ALL OR REMOVE STUMPS WITHIN BUFFER AREAS TO PREVENT SUCKER GROWTH AND REGENERATION FROM OCCURRING.
- BARK MULCH TO BE SHEDDED PINE BARK MULCH, 2" THICK, 100%.

**PLANTING NOTES**

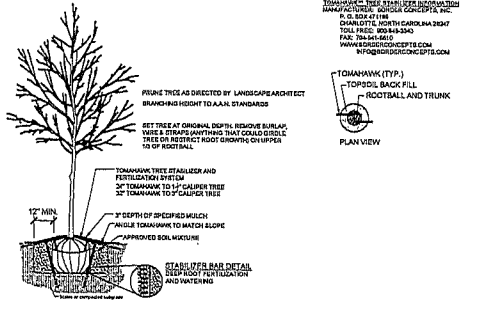


**SHRUB PLANTING DETAIL**

**DESCRIPTION: TREE PLANTING SPECIFICATIONS**  
 DESCRIPTION: TREE PLANTING SPECIFICATIONS TO BE PROVIDED BY OWNER/CONTRACTOR/PR, INC.  
 RECOMMENDED SOIL VOLUMES:  
 3" TUBS FOR USE ON TREES UP TO 1 1/2" CALIPER TREE  
 12" TUBS FOR USE ON TREES UP TO 2 1/2" CALIPER TREE  
 \*MATERIALS USE DRIVING TOOL INCLUDED IN EACH CASE TO INSTALL  
 \*MATERIALS FOR OTHER USES EXCLUDED

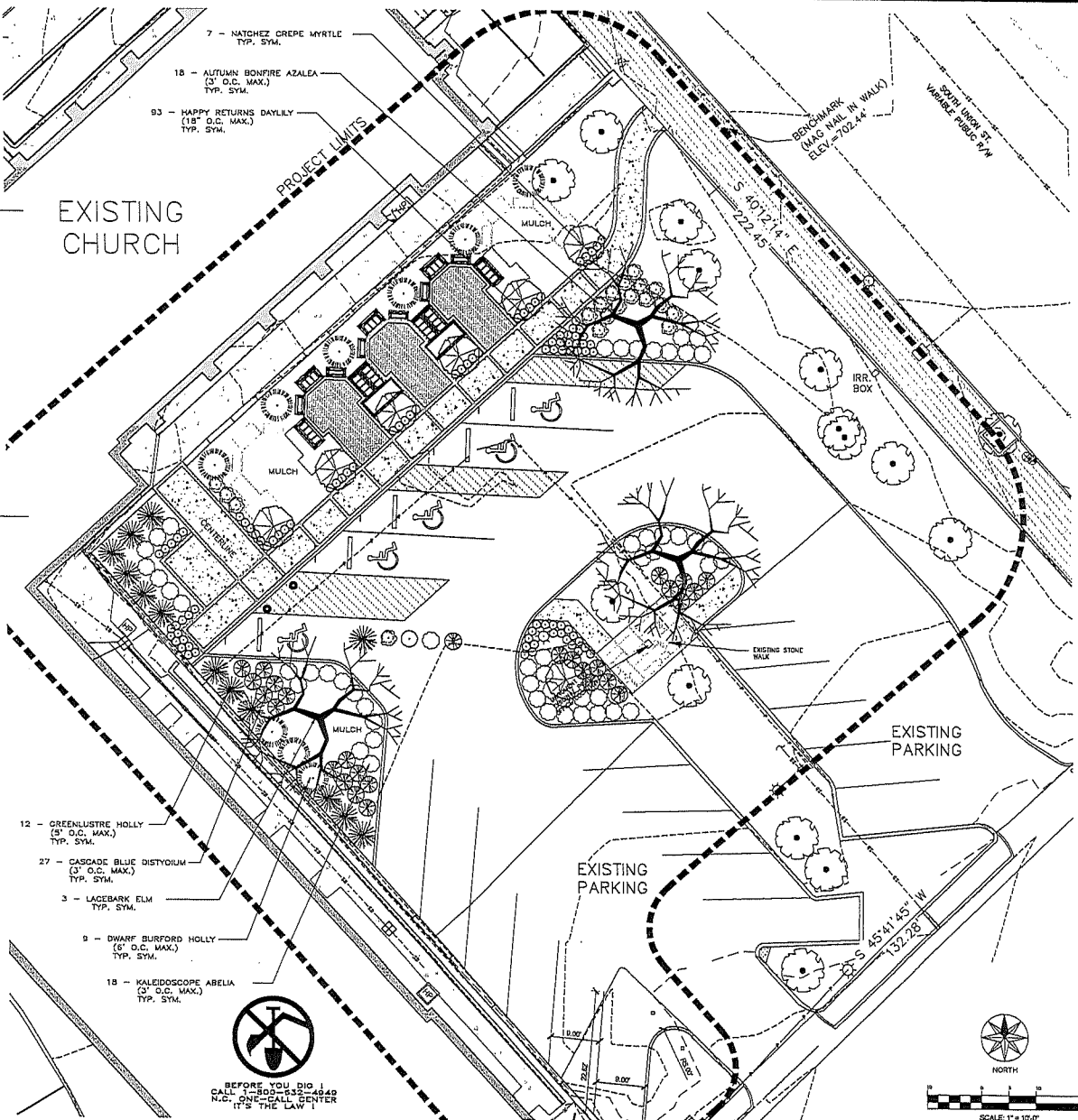
**NOTE:** IN CERTAIN CONDITIONS SUCH AS HEAVY WINDS, LOOSE SOIL CONDITIONS, HEAVY FOLIATED TREES OR LARGER DIAMETER TREES, USE OF "TOMAHAWK" SHOULD BE USED TO DETERMINE THE CORRECT TREE TOMAHAWK BY MEASURING THE ROOT BALL SIZE. THE OUTSIDE LONG SUPPORT SHOULD EXCEED A LEAST OF UNDISTURBED SOIL BEHIND THE ROOT BALL.

**INSTALLATION: INSTALL PER DETAIL OR MANUFACTURER'S RECOMMENDATIONS.**



**TREE PLANTING DETAIL**

NOT TO SCALE



BEFORE YOU DIG  
 CALL 800-532-4649  
 N.C. ONE-CALL CENTER  
 IT'S THE LAW!



**COLUMBARIUM PLANNERS, INC.**  
 PINEHURST, NORTH CAROLINA  
 P.O. Box 9255  
 Pinehurst, NC 28574  
 Telephone 919-295-1028  
 Fax 919-295-1420

**St. JAMES LUTHERAN CHURCH**

CONCORD  
 NORTH CAROLINA

**LKC** engineering,plc

140 Apple Shad Court  
 Asheville, North Carolina, 28815  
 D 919-426-1433  
 F 919-437-2096  
 lkcengineering.com  
 License No. P-1593

LKC ENGINEERING HAS DEVELOPED THESE PLANS UNDER AN AGREEMENT WITH COLUMBARIUM PLANNERS, INC. LKC ENGINEERING HAS EXCLUSIVE AUTHORITY IN PREPARING PLANS, CONSTRUCTION DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS REQUIRED TO BUILD THIS COLUMBARIUM.

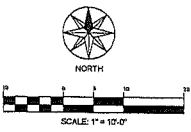
PRICING SET  
 NOT FOR  
 CONSTRUCTION

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DRAFTING	DATE	WORK	DRAWN	DATE
150% CD	WLS	5-15-18		

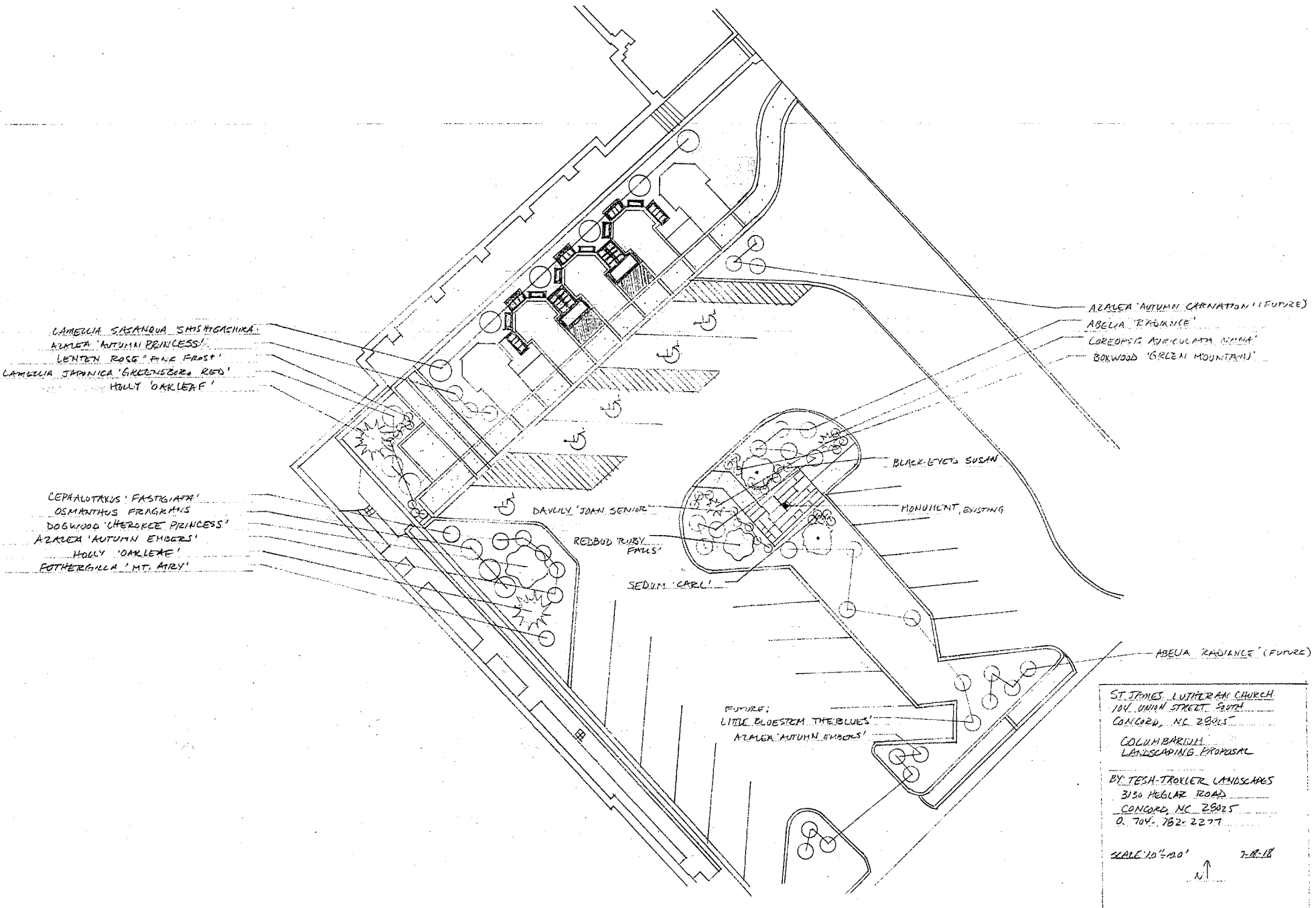
SHEET **L-8**  
**Planting Plan**

PROJECT THE XXXX-YY



SCALE: 1" = 10'-0"

DATE: 5/15/18



CAMELIA SASANQUA 'SHIMOGUCHI'  
 AZALEA 'AUTUMN PRINCESS'  
 LENTEN ROSE 'PINK FROST'  
 CAMELIA JAPONICA 'GREENSAGE RED'  
 HOLLY 'OAKLEAF'

CEPHALOTAXUS 'FASTIGIATA'  
 OSMANTHUS FRAGRANS  
 DOGWOOD 'CHEROKEE PRINCESS'  
 AZALEA 'AUTUMN EMBERS'  
 HOLLY 'OAKLEAF'  
 FOTHERGILLA 'MT. AIRY'

AZALEA 'AUTUMN CARNATION' (FUTURE)  
 ABELIA 'RADIANCE'  
 LOREOPSIS AJICULATA 'NINA'  
 BOXWOOD 'GREEN MOUNTAIN'

DAVILY 'JOHN SENIOR'  
 REDBUD 'RUBY PRINCE'  
 SEDUM 'CARL'

BLACK-EYES SUSAN  
 MONUMENT, EXISTING

ABELIA 'RADIANCE' (FUTURE)

FUTURE:  
 LITTLE BLUESTEM 'THE BLUES'  
 AZALEA 'AUTUMN EMBERS'

ST. JAMES LUTHERAN CHURCH  
 104 UNION STREET, SUITE 100  
 CONCORD, NC 28025  
 COLUMBARIUM  
 LANDSCAPING PROPOSAL  
 BY TESH TROKLER LANDSCAPES  
 3130 HEGGLAR ROAD  
 CONCORD, NC 28025  
 P. 704. 762. 2277  
 SCALE: 1/8"=1'-0" 7-8-18

Exhibit E



*Handwritten signature or initials*



Tesh- Troxler Landscapes & Designs, INC.  
 3130 Heglar Road  
 Concord, NC 28025  
 O. 704-782-2277 F. 704-792-9774

# PROPOSAL

DATE	7/10/2018
------	-----------

Prepared For:  
 Saint James Lutheran Church  
 104 Union Street S  
 Concord, NC 28025

NC Licensed Landscape Contractors-  
 Lynn E. Tesh- No. 0223  
 Phillip G. Tesh, Jr.- No. 0222  
 Keith G. Troxler, Jr.- No. 1223  
 Corporate License No. CL0145  
 NC Licensed Irrigation Contractors-  
 Phillip G. Tesh, Jr.- No. 816  
 Corporate License- No. C-444

DESCRIPTION	TOTAL
Landscaping for parking lot renovations	

A 50% deposit is required upon acceptance of contract. Remaining 50% is due upon completion.

All material is guaranteed to be as specified. New plants are guaranteed for a period of one year from the date of job completion. All work is to be completed in a workmanlike manner according to standard practices. We carry General Liability Insurance, and our workers are fully covered by Workers' Compensation Insurance.  
 I hereby submit this estimate for your consideration.  
 Authorized Signature \_\_\_\_\_ Date \_\_\_\_\_

**TOTAL**

I hereby accept this proposal and authorize the work therein be done according to the specifications outlined in this estimate.  
 Payment will be made according to the specified terms.  
 Authorized Signature \_\_\_\_\_ Date \_\_\_\_\_



Tesh- Troxler Landscapes & Designs, INC.  
 3130 Heglar Road  
 Concord, NC 28025  
 O. 704-782-2277 F. 704-792-9774

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 Corporate License No. CL0145  
 NC Licensed Irrigation Contractors-  
 Phillip G. Tesh, Jr.- No. 816  
 Corporate License- No. C-444

DESCRIPTION	TOTAL
Plant material: 3 holly 'Oakleaf' 30 gal. 1 dogwood Cherokee Princess', white 15 gal. 1 redbud 'Ruby Falls', maroon foliage, pink blooms 15 gal. 2 boxwood 'Green Mountain' 7 gal. 6 camellia sasanqua 'Shishigashira', pink 7 gal. 3 osmanthus fragrans 7 gal. 3 Camellia japonica 'Greensboro Red' 7 gal. 3 azalea 'Autumn Princess', pink 3 gal. 1 fothergilla 'Mt. Airy' 3 gal. 1 cephalotaxus 'Fastigiata' 7 gal. 5 azalea 'Autumn Embers', red 3 gal. 8 abelia 'Radiance' 3 gal. 4 flats pachysandra (1801) Perennials: 8 lenten rose 'Pink Frost' 1 gal. 7 daylilies 'Joan Senior', white 1 gal. 5 sedum 'Carl', pink 1 gal. 7 black- eyed Susan, yellow 1 gal. 9 coreopsis auriculata 'Nana', yellow 1 gal. Note: Plant material is subject to availability at time of planting.	4,300.00

A 50% deposit is required upon acceptance of contract. Remaining 50% is due upon completion.

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**TOTAL**

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 Payment will be made according to the specified terms.  
 Authorized Signature \_\_\_\_\_ Date \_\_\_\_\_



Tesh- Troxler Landscapes & Designs, INC.  
 3130 Heglar Road  
 Concord, NC 28025  
 O. 704-782-2277 F. 704-792-9774

# PROPOSAL

DATE	7/10/2018
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Prepared For:  
 Saint James Lutheran Church  
 104 Union Street S  
 Concord, NC 28025

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 Corporate License- No. C-444


DESCRIPTION	TOTAL
Soil- estimate 12 cubic yards	600.00
Labor to prepare beds and install plant material	2,500.00
Installation of pine needle mulch- estimate 60 bales	510.00
Equipment usage: dump truck, dingo	175.00
Installation of Irrigation system and sleeves Includes one Pro- C outdoor controller, pvc pipe, valves and valve boxes, 12" spray heads (for planting beds and center island), drip tubing (for section at columbarium), wire, fittings, couplings, sleeves, and labor	8,700.00

A 50% deposit is required upon acceptance of contract. Remaining 50% is due upon completion.

All material is guaranteed to be as specified. New plants are guaranteed for a period of one year from the date of job completion. All work is to be completed in a workmanlike manner according to standard practices. We carry General Liability Insurance, and our workers are fully covered by Workers' Compensation Insurance.  
 I hereby submit this estimate for your consideration.  
 Authorized Signature \_\_\_\_\_ Date \_\_\_\_\_

<b>TOTAL</b>	<b>\$16,785.00</b>
--------------	--------------------

I hereby accept this proposal and authorize the work therein be done according to the specifications outlined in this estimate.  
 Payment will be made according to the specified terms.  
 Authorized Signature \_\_\_\_\_ Date \_\_\_\_\_

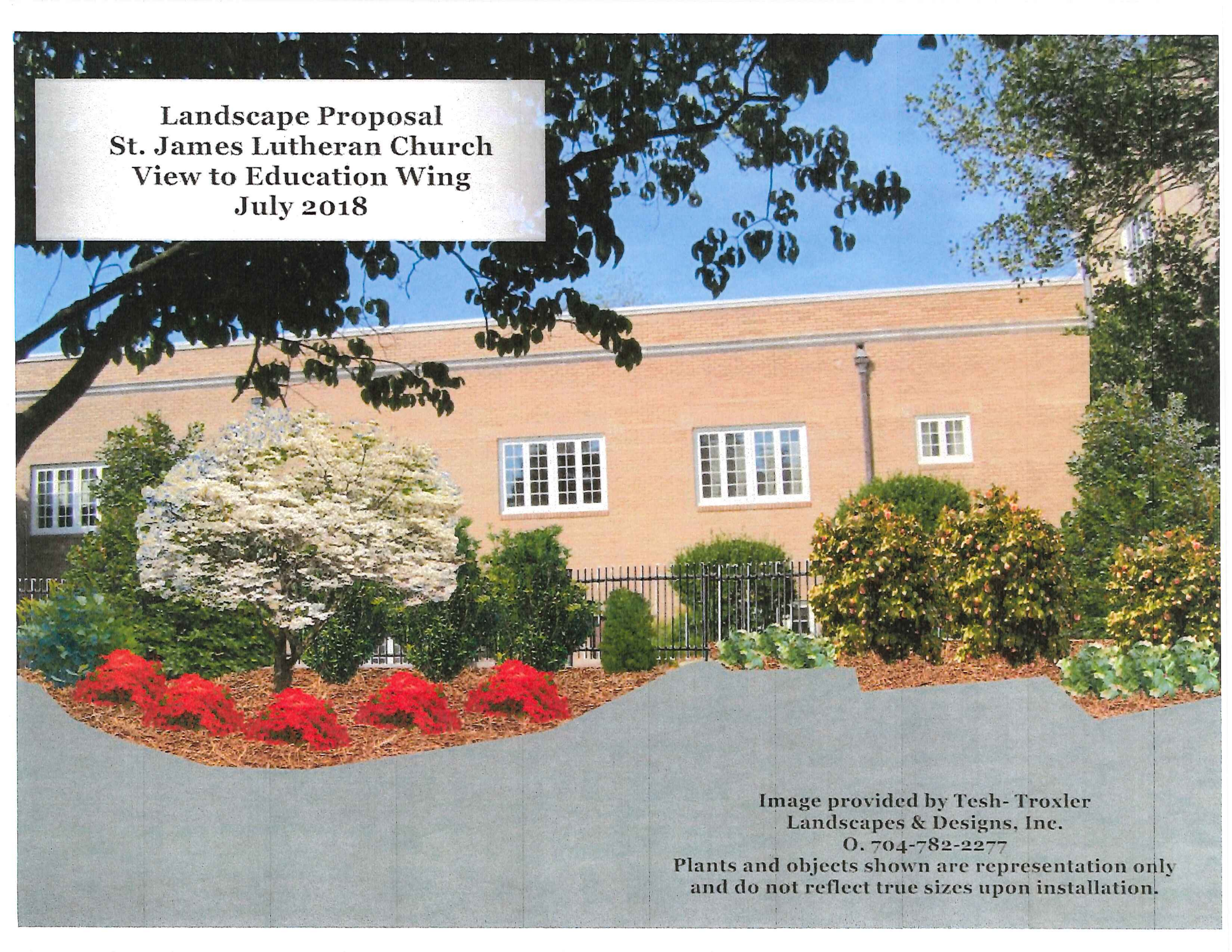


**Landscape Proposal  
St. James Lutheran Church  
View to Corner at Side Entry  
July 2018**

Image provided by Tesh- Troxler  
Landscapes & Designs, Inc.  
O. 704-782-2277

Plants and objects shown are representation only  
and do not reflect true sizes upon installation.



A photograph of a two-story brick building with several windows, partially obscured by trees and landscaping. In the foreground, there is a garden bed with a large white flowering tree, several red flowers, and a black metal fence. The sky is blue with some tree branches visible.

**Landscape Proposal  
St. James Lutheran Church  
View to Education Wing  
July 2018**

**Image provided by Tesh- Troxler  
Landscapes & Designs, Inc.  
O. 704-782-2277**

**Plants and objects shown are representation only  
and do not reflect true sizes upon installation.**



## Lenten Rose 'Pink Frost'

### Plant Description:

Burgundy stems support leathery leaves with a silver frosting. The flowers are a combination of white, pink, and deep rose tones and are upward facing - unusual for a hellebore. 'Pink Frost' is evergreen, long blooming, and deer resistant too! Makes a superb groundcover and choice perennial for shady borders.

Type: Perennials

Height: Medium 12-14"

Spacing: Plant 24" apart

Bloom Time: Early Spring to Late Spring

Sun-Shade: Mostly Sunny to Full Shade

Zones: 5-9

Soil Condition: Normal, Acidic, Sandy

Flower: Pink



## Daylily 'Joan Senior'

### Plant Description:

A reliable rebloomer with a continuous profusion of day-long blooms on tall, slender stems in early summer and late summer. The large, exquisite flowers have creamy white, recurved, frilly petals and pale lime green throats, and rise above the large clumps of graceful, arching, grass-like, green foliage. Semi-evergreen in mild winter regions.

Light Needs: Full sun

Watering Needs: Once established, water occasionally; more in extreme heat or containers.

Average Landscape Size: Moderate growing; forms clumps 20 to 26 in. tall, 18 to 24 in. wide.

Key Feature: Exquisite Summer Flowers

Blooms: Early summer, and again in late summer to fall.



## Sedum 'Carl'

### Plant Description:

Brilliant rose-pink flowers bloom from late summer through fall over greenish-gray foliage. Sturdy, iridescent pink stems and leaf margins echo the flower color late in the season. This upright Sedum combines well with other fall blooming plants in the mixed border. Easy to grow, low maintenance, drought tolerant, and deer resistant.

Common Name Carl's Stonecrop

Zones: 4, 5, 6, 7, 8, 9

Light Requirements: Full Sun

Flower Color: Pink

Mature Height: 16-18" tall

Mature Spread: 15" wide

Bloom Time: Late summer to early fall

Evergreen: Yes

Soil Type: Compost Enriched Garden Loam Soil

Soil Moisture: Drought Resistant

Advantages: Deer Resistant, Attract Butterflies, Bee Friendly, Easy to grow, Extended Bloom

Time (more than 4 weeks), Low Maintenance, Adds Texture



## Rudbeckia 'Goldsturm' Black-Eyed Susan

### Benefits:

Goldsturm has golden-yellow, daisy-like flowers and a sturdy, upright habit. Blooms over a long period. 1999 Perennial Plant Association Plant of the Year.

Form: Clumping

Exposure: Full sun

Average Height: 24-30"

Average Width: 18-24"

U.S. Zones: 4-9



## Cephalotaxus 'Fastigiata'

### Plant Description:

Ideally suited for Southern gardens, this cultivar was selected for its carefree, vertical growth habit. Exceptional, dense, finely textured, shiny, dark green foliage is deer resistant. A splendid foundation plant or landscape specimen that is both heat and shade tolerant. Use to create a bold statement in formal groupings. Evergreen.

**Common Name:** Japanese plum yew

**Type:** Needled evergreen

**Family:** Taxaceae

**Zone:** 6 to 9

**Height:** 8.00 to 10.00 feet

**Spread:** 3.00 to 5.00 feet

**Bloom Time:** Non-flowering

**Bloom Description:** Non-flowering

**Sun:** Full sun to part shade

**Water:** Medium

**Maintenance:** Medium

**Leaf:** Evergreen



## Encore Azalea 'Autumn Princess'

### Details:

Striking purple winter foliage and dark green summer foliage accentuate the ruffled blooms.

**Bloom Color:** Pink

**Plant Size:** Dwarf

**Height:** 3.5 feet

**Spread:** 3 feet

**Bloom Span:** 2" across

**Bloom Form:** Semi-double

**USDA Zones:** 6b, 7a, 7b, 8a, 8b, 9a, 9b, 10a, 10b



## **Osmanthus fortunei 'Fortune's Sweet Olive'**

### **Details:**

Attractive large shrub with small clusters of showy white blooms with incredible fragrance. Dense, dark green holly-like foliage throughout the year makes this an ideal background plant or screen. Can be pruned into a hedge of any size.

**Scientific Name:** *Osmanthus fortunei*

**Common Name:** Fortune's Osmanthus

**Plant Type:** Evergreen

**Leaf Type:** Broadleaf

**Hardiness Zone:** 7, 8, 9 Determine Your Zone

**Height:** 20-30 feet

**Spread:** 10-15 feet

**Bloom time:** Fall, Winter

**Flower color:** White

**Light Exposure:** Sun, Part Sun

**Drainage:** Well drained, Moist,

**Rate of Growth:** Slow

**Water Requirement:** Medium

**Maintenance Level:** Low



## **Fothergilla 'Mount Airy'**

### **Plant Description:**

Deciduous shrub with deep blue-green leaves has attractive fall color. Honey-scented, brush-like flowers appear before the leaves. Beautiful addition to shrub borders or for background in semi-shaded borders.

**Common Name:** dwarf fothergilla

**Type:** Deciduous shrub

**Family:** Hamamelidaceae

**Zone:** 5 to 8

**Height:** 3.00 to 5.00 feet

**Spread:** 3.00 to 5.00 feet

**Bloom Time:** April to May

**Bloom Description:** White

**Sun:** Full sun to part shade

**Water:** Medium

**Maintenance:** Low

**Suggested Use:** Hedge

**Flower:** Showy, Fragrant

**Leaf:** Good Fall



### **Abelia 'Radiance'**

**Details:**

This vigorous shrub with a compact habit is a standout, maintaining its color and density throughout the year. Crimson stems contrast dramatically with variegated foliage that begins medium green with creamy yellow margins and ages to silvery-green with cream margins. Fragrant white tubular flowers appear mid-summer to fall.

**Bloom/Feature:** Variegated foliage with small white flowers

**Plant Type:** Evergreen or Deciduous

**USDA Zones:** 6, 7, 8, 9

**Flowering Season:** Spring

**Exposure:** Full Sun to Part Shade

**Water:** Medium

**Soil Type:** Well-drained garden soil

**Dimensions:** 2-3' H x 4-5' W



### **Azalea 'Autumn Embers'**

**Details:**

This striking variety stands out in any landscape with its blazing display of color.

**Common Name:** evergreen azalea

**Type:** Broadleaf evergreen

**Family:** Ericaceae

**Zone:** 6 to 9

**Height:** 2.00 to 5.00 feet

**Spread:** 3.00 to 5.00 feet

**Bloom Time:** April to May

**Bloom Description:** Orange-red

**Sun:** Part shade

**Water:** Medium

**Maintenance:** Medium

**Flower:** Showy

**Leaf:** Evergreen

**Other:** Winter Interest

**Tolerate:** Rabbit

ALTERNATE!



### **Abelia 'Rose Creek'**

**Details:**

Easily grown in average, medium, well-drained soil in full sun to part shade. Best flowering is in full sun. Prefers moist, organically rich soils which drain well. Blooms on new wood, so prune as needed (e.g., thin to the ground up to 1/3 of old stems and any stems lost to winter) in late winter to early spring.

Common Name: abelia  
Type: Deciduous shrub  
Zone: 6 to 9  
Height: 2.00 to 3.00 feet  
Spread: 3.00 to 4.00 feet  
Bloom Time: May to September  
Bloom Description: White  
Sun: Full sun to part shade  
Water: Medium  
Maintenance: Low  
Suggested Use: Hedge  
Flower: Showy



### **Pachysandra terminalis**

Common Name: Japanese pachysandra  
Type: Herbaceous perennial  
Family: Buxaceae  
Native Range: Japan, northern-central China  
Zone: 5 to 9  
Height: 0.50 to 1.00 feet  
Spread: 1.00 to 1.50 feet  
Bloom Time: April  
Bloom Description: White  
Sun: Part shade to full shade  
Water: Medium  
Maintenance: Low  
Suggested Use: Ground Cover, Naturalize  
Flower: Showy  
Leaf: Evergreen  
Other: Winter Interest  
Tolerate: Rabbit, Deer, Drought, Heavy Shade, Erosion, Clay Soil, Dry Soil



## Green Mountain Boxwood

### **Plant Description:**

A vigorous evergreen shrub with bright green foliage that retains good color throughout winter. The upright, naturally cone-shaped habit makes it an excellent candidate for topiary forms, and a striking container or formal garden accent. Use in mass plantings to create either a free-form or a sculpted hedge.

**Light Needs:** Partial to full sun

**Watering Needs:** Water regularly - weekly, or more often in extreme heat or containers.

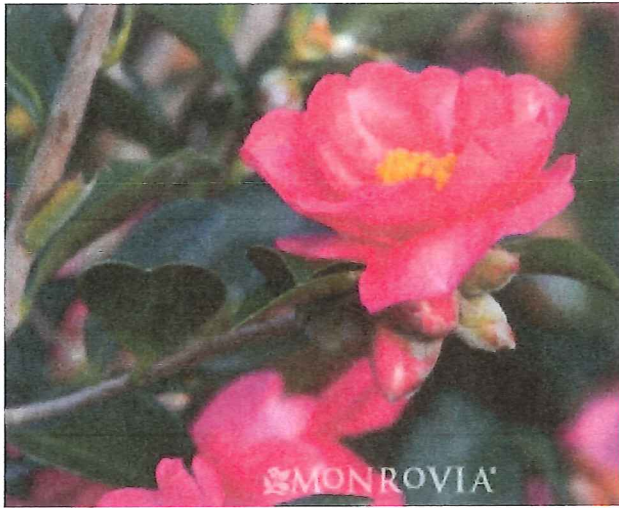
**Average Landscape Size:** Moderate growing; reaches 5 ft. tall, 3 ft. wide.

**Key Feature:** Handsome Evergreen Hedge

**Blooms:** Inconspicuous; prized for foliage.

**Landscape Uses:** Border, Container, Hedge, Mass Planting, Topiary, Urban Garden





## Camellia 'Shishi Gashira'

### Plant Description:

A versatile performer displaying profuse, hot pink, semi-double blooms with golden yellow stamens in the center and glossy, dark green foliage. Flowers are perfect for cutting. Excellent choice for a colorful low hedge, espalier or high-profile groundcover. Early to mid-season bloomer. Evergreen.

Botanical Name: *Camellia sasanqua* 'Shishi Gashira'

Plant Type: Shrubs

Plant Subtype: Camellia

Foliage Color: Dark Green

Light Needs: Filtered Sun

Water Needs: Moderate

USDA Cold Hardiness Zones: 7 - 10

Height: 3 - 5 feet

Spread: 4—7 feet

Flower Color: Pink

Bloom Time: Fall, Winter



## Camellia japonica 'Greensboro Red'

### Details:

Greensboro Red exhibits lustrous dark green leaves in a bushy form. It blooms in mid spring with 3-5" semi-double light red flowers. This Camellia has great form and is a bit colder hardy than most. Flowers are a great contrast to the glossy, dark green foliage. An old favorite for milder regions of the U.S. Great for use in shade gardens, woodland plantings, as specimen plants, or in large container gardening.

Category: Camellia, Evergreen Shrub

Genus: Camellia

Species: japonica

Cultivar 'Greensboro Red'

Common Name: 'Greensboro Red' Camellia

Bloom Time: Jan - March.

Height: 10 to 12 Feet

Spread: 7 to 8 Feet

Habit: Large, upright shrub. Slow to moderate growth rate.

Zone: 7 to 10

Culture: Full sun to partial shade.

Flower: Large red, single to semi-double flowers. March-April.

Flower Color: Red, single/semi-double.

Foliage: Lustrous dark green leaves, 2-4 inches. Evergreen.



## Holly 'Oak Leaf'

### Plant Description:

A hybrid holly with a tall, elegant, pyramidal form and charming oak leaf-like foliage that emerges bronze to burgundy in spring and matures to emerald green. Sets small orange-red ornamental berries without needing a male pollenizer. Use to create a stunning, cold-hardy, tall hedge or as a landscape specimen. Evergreen.

Light Needs: Partial to full sun

Watering Needs: Water regularly - weekly, or more often in extreme heat.

Average Landscape Size: Fast growing; reaches 14 ft. tall, 8 ft. wide.

Key Feature: Evergreen Hedge Plant

Blooms: Inconspicuous; prized for foliage and ornamental berries.



## Cercis canadensis 'Ruby Falls'

### Details:

Presents a glossy maroon leaf before turning dark green with violet accents for summer!

Genus: Cercis

Species: canadensis

Variety: 'Ruby Falls'

Zone: 6 - 8

Bloom Start to End: Early Spring - Late Spring

Habit: Weeping

Plant Height: 6 ft - 8 ft

Plant Width: 4 ft - 6 ft



## **Cornus florida 'Cherokee Princess'**

Common Name: flowering dogwood

Type: Tree

Family: Cornaceae

Zone: 5 to 9

Height: 15' to 30 feet

Spread: 15' to 30 feet

Bloom Time: April

Bloom Description: White

Sun: Full sun to part shade

Water: Medium

Maintenance: Medium

Suggested Use: Flowering Tree

Flower: Showy

Leaf: Good Fall

Attracts: Birds

Fruit: Showy

Tolerate: Deer, Clay Soil, Black Walnut



## **Coreopsis 'Nana'**

### **Benefits:**

A much more compact growing Tickseed than most in its family. This plant will form a low mound that doesn't get more than a foot tall. Above the neat mound of foliage, sits beautiful yellow blossoms lasting for long period through the summer, especially with regular deadheading.

Form: Compact, mounded

Exposure: Full sun

Average Height: 8-12"

Average Width: 12-15"

U.S. Zones: 4-9

Exhibit F









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